



HILLINGDON
LONDON



Central & South Planning Committee

Date: TUESDAY, 21 MARCH 2017

Time: 7.00 PM

Venue: COMMITTEE ROOM 5 -
CIVIC CENTRE, HIGH
STREET, UXBRIDGE UB8
1UW

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

To Councillors on the Committee

Councillor Ian Edwards (Chairman)
Councillor David Yarrow (Vice-Chairman)
Councillor Shehryar Ahmad-Wallana
Councillor Roy Chamdal
Councillor Alan Chapman
Councillor Jazz Dhillon
Councillor Janet Duncan
Councillor Manjit Khatra
Councillor Brian Stead

Published: Monday, 13 March 2017

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Putting our residents first

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Useful information for residents and visitors

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It is recommended to give advance notice of filming to ensure any particular requirements can be met. The Council will provide seating areas for residents/public, high speed WiFi access to all attending and an area for the media to report. The officer shown on the front of this agenda should be contacted for further information and will be available to assist.

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A useful guide for those attending Planning Committee meetings

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more people who live, work or study in the borough, can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant followed by any Ward Councillors;

petition organiser or of the agent/applicant;

5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

4. The Committee may ask questions of the

Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the previous meeting 1 - 6
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part I will be considered in Public and that the items marked Part 2 will be considered in private

PART I - Members, Public and the Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Applications with a Petition

	Address	Ward	Description & Recommendation	Page
6	1 Collingwood Road 57541/APP/2016/2713	Brunel	Change of use from single dwelling house (Use Class C3) to six-person House of Multiple Occupancy (Use Class C4). Recommendation: Approval	7 - 22 194 - 202
7	3 Field Way 16250/APP/2016/4408	Uxbridge South	Part two-storey, part single-storey rear extension and first floor side extension. Recommendation: Approval	23 - 34 203 - 211

Applications without a Petition

	Address	Ward	Description & Recommendation	Page
8	Brunel University 532/APP/2016/4572	Brunel	Single-storey rear extension, plant enclosure, vehicle access gates, ramp and new fencing. Recommendation: Approval	35 - 46 212 - 224

9	Brunel University 532/APP/2016/4568	Brunel	Removal of condition 1 (Retention of Structures) of planning permission ref: 532/APP/2013/1586 dated 10/10/2013 (Single storey structure to accommodate three test chambers and associated roof plant for a temporary period of ten years, following demolition of existing building). Recommendation: Approval	47 - 56 225 - 233
10	140 Ryefield Avenue 29498/APP/2016/3975	Hillingdon East	Change of use from retail (Use Class A1) to a mixed use comprising restaurants /hot food takeaway (Use Class A3/A5) involving installation of an extract duct to the side. Recommendation: Approval	57 - 68 234 - 239
11	Grange House, 9 Grange Road 1489/APP/2016/4156	Townfield	Change of use from dwellinghouse (Use Class C3) to a 12-person House of Multiple Occupation (Sui Generis) with alterations to front and internally. Recommendation: Approval	69 - 80 240 - 245
12	6 Hamilton Road 5670/APP/2017/42	Uxbridge South	Two-storey side extension, single-storey front extension, single-storey rear extension and conversion of roof space to habitable use to include a rear dormer. Recommendation: Refusal	81 - 90 246 - 253
13	48 Wallingford Road 71488/APP/2015/4721	Uxbridge South	The erection of two detached units (Use class B2-B8). Recommendation: Approval	91 - 106 254 - 258

14	Footpath opposite 35 Falling Lane 72106/APP/2017/464	Yiewsley	Installation of 12.5m high telecommunications monopole and associated works (Application for prior approval under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) (England) Order 2015) Recommendation: Approval	107 - 116 259 - 268
15	Lesser Barn, Hubbards Close 5971/APP/2016/3922	Yiewsley	Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping. Recommendation: Approval	117 - 138 269 - 294

PART II - MEMBERS ONLY

The reports listed below are not made public because they contain confidential or exempt information under paragraph 6 of Part 1 of Schedule 12 A to the Local Government (Access to Information) Act 1985 as amended.

16	ENFORCEMENT REPORT	139 - 146
17	ENFORCEMENT REPORT	147 - 154
18	ENFORCEMENT REPORT	155 - 162
19	ENFORCEMENT REPORT	163 - 174
20	ENFORCEMENT REPORT	175 - 182
21	ENFORCEMENT REPORT	183 - 192

PART I - Plans for Central and South Planning Committee 193 - 294

Agenda Item 3

Minutes



CENTRAL & South Planning Committee

2 March 2017

Meeting held at Committee Room 5 - Civic Centre, High Street, Uxbridge UB8 1UW

	<p>Committee Members Present: Councillors Ian Edwards (Chairman), David Yarrow (Vice-Chairman), Shehryar Ahmad-Wallana, Roy Chamdal, Alan Chapman, Jazz Dhillon, Janet Duncan, Manjit Khatra and Brian Stead</p> <p>LBH Officers Present: James Rodger (Head of Planning and Enforcement), Meghji Hirani (Planning Contracts & Planning Information), Syed Shah (Principal Highways Engineer), Jyoti Mehta (Planning Lawyer) and Neil Fraser (Democratic Services Officer).</p>
206.	<p>APOLOGIES FOR ABSENCE (<i>Agenda Item 1</i>)</p> <p>None.</p>
207.	<p>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING (<i>Agenda Item 2</i>)</p> <p>Councillor Dhillon declared a non-pecuniary interest in respect of Item 7 - Highways Verge, Fronting 247 Station Road, in that he lived close to the application site. Councillor Dhillon confirmed that he would leave the meeting when the item was deliberated.</p>
208.	<p>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING (<i>Agenda Item 3</i>)</p> <p>RESOLVED: That the minutes of the meeting held on 8 February 2017 be agreed as a correct record.</p>
209.	<p>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT (<i>Agenda Item 4</i>)</p> <p>It was confirmed that whilst Item 7 - Highways Verge, Fronting 247 Station Road, was not a late or urgent item, the report had not been available for publication with Agenda A, and so had been published as supplementary Agenda B.</p>
210.	<p>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART I WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE (<i>Agenda Item 5</i>)</p> <p>It was confirmed that agenda items 1-10 were marked as Part I and would be considered in public. Agenda item 11 was marked as Part II and so would be considered in private.</p>

211.	<p>212 HIGH STREET, HARLINGTON - 1373/APP/2016/4087 (<i>Agenda Item 6</i>)</p> <p>Proposed change of use from retail (Use Class A1) to Thai Massage Clinic (Use Class D1)</p> <p>Officers introduced the report, confirming that the application site had been subject to an enforcement investigation in regards to an unauthorised change of use from a retail unit (Use Class A1) to a hot food takeaway (Use Class A5). An enforcement notice was served in July 2015 and required that the use of the site as an A5 Hot Food takeaway to cease. This was appealed against, with the appeal subsequently dismissed as the Inspector considered that it had not been demonstrated that the change of use from A1 to A5 would not harm the vitality and viability of the Harlington Core Shopping Area.</p> <p>Officers confirmed that the loss of the retail unit would undermine the retail function of the shopping area, contrary to Policy S9 of the Hillingdon Local Plan - Part two, Saved Policies (November 2012) and it was therefore recommended that the application be refused.</p> <p>The officer's recommendation was moved, seconded, and when put to a vote, unanimously agreed.</p> <p>RESOLVED: That the application be refused.</p>
212.	<p>HIGHWAYS VERGE, FRONTING 247 STATION ROAD - 72544/APP/2017/295 (<i>Agenda Item 7</i>)</p> <p>Installation of a 15m high streetworks style telecommunications monopole and ancillary works (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 for determination as to whether prior approval is required for siting and appearance)</p> <p>Following his declaration of interest, Councillor Dhillon left the room before the item was introduced.</p> <p>Officers introduced the report, highlighting the addendum, and confirmed that the plan attached to the report related to an incorrect site. A corrected site plan was included within the presentation.</p> <p>The Committee was informed that the proposal was for prior approval for the installation of a telecommunication mast and cabinets, on a central reservation on Station Road. Officers asserted that the installation would have a detrimental impact on the character and appearance of the street scene and surrounding area, due to an increase in clutter. In addition, the applicant had not fully investigated alternative sites within the immediate and surrounding area. Officers highlighted that correspondence received from the applicant had confirmed that representations had been made to the owners of a nearby industrial estate, but that a reply had not been received. This did not preclude the applicant from potentially using the site, and it was felt that more effort should be made to this effect. For these reasons, it was recommended that the application be refused.</p> <p>The Chairman confirmed that a petition in objection to the application had been received, but that the petitioner was not present. In addition, it was confirmed that petitioner had not included his reasons for the objection within the petition.</p>

Members deliberated the matter, and sought clarity on a number of points. In response to questions, officers confirmed that as the proposed site was not on Green Belt land or in a Conservation Area, the likelihood of winning an appeal, should the application be refused, was low. If an appeal was upheld, conditions could be requested to the inspector to limit the number of cabinets associated with the mast.

Members were concerned that no information had been provided regarding areas of coverage for existing masts, the potential for mast sharing, and the reason for why the applicant felt the mast must be installed at the proposed location. Officers confirmed that they were satisfied that there was no possibility of mast sharing, and that information assessed by officers during the review of the application would have included existing mast coverage. It was reiterated that the reasons for recommending refusal were based on the detrimental impact the proposal would have on the street scene and local area.

Members shared the officers' concerns that the installation of the mast and cabinets would have a detrimental impact on the street scene due to clutter, and expressed concerns that the mast would dominate the skyline. Additional concerns included the potential precedent for additional technology and furniture to be installed at the site, should this application be allowed, which would removed valuable amenity space for residents. For these reasons, the recommendation was moved, seconded, and when put to a vote, unanimously agreed.

RESOLVED: That the application be refused.

213. **2 HERCIES ROAD - 9771/APP/2016/3074** (*Agenda Item 8*)

Retention of the existing building as a 12 room bed and breakfast hostel (Sui Generis), amendment to parking layout and provision of a new crossover

Officers introduced the report, confirming that the site had been in use as a hostel since 2001. A site visit had confirmed that the premise was now in use as a hostel/bed and breakfast, and the application sought the retention of the existing building as a bed and breakfast. Officers highlighted a previous enforcement notice, details of which had been forwarded to Members prior to the meeting. This notice was amended by the Inspector to require that the 'premise be returned to its condition before the breach took place'. However, due to the unique history of the site, it was unclear exactly what the previous condition of the site was.

Upon review, officers felt that a bed and breakfast was a reasonable use of the site, and that as the site was isolated, its use as a bed and breakfast did not have an impact on the amenity of neighbouring residents. As such, it was recommended that the application be approved, subject to conditions relating to the tidying up of the site and its appearance.

Members discussed the application, and felt that as the site had been use as a hostel/bed and breakfast for a number of years, it was satisfactory for it to remain as so, and that improvements to the appearance of the site would be a good thing. However, concerns were raised at the site's proximity to the M40 and the resultant noise experienced by guests. It was therefore moved that application be approved, subject to the Head of Planning agreeing an additional condition relating to soundproofing at the site. This was seconded, and when put to a vote, unanimously agreed.

	<p>RESOLVED:</p> <ol style="list-style-type: none"> 1. That the application be approved; 2. That the Head of Planning be delegated authority to agree an additional condition regarding soundproofing at the site.
214.	<p>2 CASTLE AVENUE - 33995/APP/2016/3713 (<i>Agenda Item 9</i>)</p> <p>Conversion of single family dwellinghouse (Class C3) into a 7 bedroom House in Multiple Occupation (Sui Generis)</p> <p>Officers introduced the report, highlighting that the Highway Engineer had raised no objections to the existing access, parking layout, and provision of cycle storage. As the development would have minimal impact on the character and appearance of the area, or the residential amenity of neighbouring properties, it was recommended that the application be approved.</p> <p>Members discussed the application, and were concerned that the plans showed provision for a communal lounge that included a toilet. It was suggested that this room would instead be used as an en-suite bedroom. Officers confirmed that there was a requirement for a communal lounge within an HMO of this size, and that enforcement action could be taken in the event that this room was not used for this purpose. In addition, it was confirmed that rooms met the minimum size requirements, and that conditions included a restriction on the number of occupants within the dwelling. On this basis, the officer's recommendation was moved, seconded, and when put to a vote, unanimously agreed.</p> <p>RESOLVED: That the application be approved.</p>
215.	<p>10A HIGH STREET - 72203/APP/2016/3394 (<i>Agenda Item 10</i>)</p> <p>Change of use from retail (Use Class A1) and conversion to 2 x 2-bed self contained flats (Use Class C3)</p> <p>Officers introduced the report, confirming that although the application property was located within a Secondary Shopping Area, it was considered to be in an isolated location, not within a traditional parade of shops. As the proposal was considered to comply with all policies including the requirement for parking and pedestrian safety, it was recommended that the application be approved.</p> <p>The officer's recommendation was moved, seconded, and when put to a vote, unanimously agreed.</p> <p>RESOLVED: That the application be approved.</p>
216.	<p>ENFORCEMENT REPORT (<i>Agenda Item 11</i>)</p> <p>ENFORCEMENT REPORT (<i>Agenda Item 13</i>)</p> <p>RESOLVED:</p> <ol style="list-style-type: none"> 1. That the enforcement action as recommended in the officer's report was

	<p>agreed.</p> <p>2. That the Committee resolved to release their decision and the reasons for it outlined in this report into the public domain, solely for the purposes of issuing the formal breach of condition notice to the individual concerned.</p> <p><i>This item is included in Part II as it contains information which a) is likely to reveal the identity of an individual and b) contains information which reveals that the authority proposes to give, under an enactment, a notice under or by virtue of which requirements are imposed on a person. The authority believes that the public interest in withholding the Information outweighs the public interest in disclosing it (exempt information under paragraphs 2 and 6(a) of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended).</i></p>
	<p>The meeting, which commenced at 7.00 pm, closed at 8.05 pm.</p>

These are the minutes of the above meeting. For more information on any of the resolutions please contact Neil Fraser on 01895 250692. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

The public part of this meeting was filmed live on the Council's YouTube Channel to increase transparency in decision-making, however these minutes remain the official and definitive record of proceedings.

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Agenda Item 6

Report of the Head of Planning, Sport and Green Spaces

Address 1 COLLINGWOOD ROAD HILLINGDON

Development: Change of use from single dwelling house (Use Class C3) to 6 person House of Multiple Occupancy (Use Class C4)

LBH Ref Nos: 57541/APP/2016/2713

Drawing Nos: Site Plan
1638-ex-01
Appendix
Appendix 2a
Appendix 3
1638-pl-01 Rev. B Received 14-11-2016
1638-pl-02
Supporting Statement (Including Amendment)
Management Plan

Date Plans Received:	13/07/2016	Date(s) of Amendment(s):	08/11/2016
Date Application Valid:	01/08/2016		10/03/2017
			29/07/2016
			13/07/2016

DEFERRED ON 18th January 2017 FOR SITE VISIT .

This application was deferred at the meeting of the 18th January for a site visit and for officers to clarify the provision of amenity space.

1. SUMMARY

The application seeks planning permission for a change of use from from a single family dwelling house to a house in multiple occupation (Use Class C4) to accommodate 6 persons. Subject to the imposition of conditions including limiting the occupancy to 6 persons, the development would not result in an unacceptable loss of residential amenity to occupants of neighbouring dwellings. The proposal does not raise any highway safety concerns. The development has been amended through discussion which has resulted in increased lounge space, added further cooking and preparation facilities and identified sufficient on-site car parking. As a result it would deliver a standard of accommodation suitable for the purpose applied for. A site supervision condition is imposed to ensure the proposed use does not have adverse impacts on the amenity of neighbours. It is therefore recommended for approval.

2. RECOMMENDATION

APPROVAL subject to the following:

1 HO1 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 RES4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, number 1638-pl-01 Rev. B Received 14-11-2016 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

3 NONSC Non Standard Condition

Notwithstanding the submitted information, prior to first occupation a Site Supervision Management Plan shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the approved scheme shall be implemented prior to the use hereby permitted being commenced, and maintained in full compliance with the approved measures.

REASON: To safeguard the amenity of the occupants of surrounding properties in accordance with Policy OE1 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

4 MDR5 Multiple Occupation/Shared Facilities

The property shall only be used on the basis of multiple occupation with shared facilities and by no more than 6 persons and shall not be used at any time as self-contained units.

REASON

In order to prevent the establishment of self-contained units in view of the limited provision of car parking and to protect the amenity of the area in accordance with Policy H7 of the Hillingdon Unitary Development Plan.

5 H7 Parking Arrangements (Residential)

The parking areas shown on the approved plans shall be provided before first occupation, and shall be allocated for the sole use of the occupants prior to the occupation of the development and thereafter be permanently retained and used for no other purpose.

REASON

To ensure that an appropriate level of car parking provision is provided on site in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 6 of the London Plan (2016).

6 A20 Access to Buildings for People with Disabilities

Development shall not commence until details of access to building entrances (to include ramped/level approaches, signposting, types and dimensions of door width and lobby openings) to meet the needs of people with disabilities have been submitted to and approved by the Local Planning Authority. The approved facilities should comply with BS 5810: 1979 (Design Note 18 in the case of educational buildings) and be provided prior to the occupation of the development.

REASON

To ensure that people with disabilities have adequate access to the development in accordance with Policy R16 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7 H14 Cycle Storage - details to be submitted

No part of the development hereby permitted shall be commenced until details of covered and secure cycle storage have been submitted to and approved in writing by the Local Planning Authority. Thereafter, the development shall not be occupied or brought into use until the approved cycling facilities have been implemented in accordance with the approved plan, with the facilities being permanently retained for use by cyclists.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 6 of the London Plan (2016).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H2	Restrictions on changes of use of residential properties
H3	Loss and replacement of residential accommodation
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework,

3 159 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 147 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the East side of Collingwood Road at the junction with Haig Road. It is occupied by a two-storey semi-detached dwelling attached to No. 74 Haig Road.

The site is situated within the Developed Area as identified in the policies of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

3.2 Proposed Scheme

The application seeks planning permission for a change of use from a single dwelling house (Use Class C3) to 6 person House of Multiple Occupancy. The submitted plans propose the following:

Ground floor:

- 1 communal kitchen,
- 1 communal lounge - 10.1 m²
- 1 shared shower-room with WC,
- Bedroom 1 - 11.4 m²
- Bedroom 2 - 10.1 m²
- Bedroom 3 - 9.7 m²

First floor

- 1 shared bathroom with WC
- Bedroom 1 - 9.8 m²
- Bedroom 2 - 8.4 m²
- Bedroom 3 - 6.8 m²

Total floorspace 110.1 m²

Outdoor amenity space - 93m²

Car parking - 3 on-site.

Bin store - for two bins on-site.

3.3 Relevant Planning History

19766/74/1396 111 Collingwood Road Hillingdon
Householder development - residential extension(P) (also relaxation).

Decision: 22-10-1974 Approved

57060/APP/2002/349 11 Collingwood Road Hillingdon
ERECTION OF A SINGLE STOREY REAR EXTENSION (APPLICATION FOR A CERTIFICATE OF LAWFULNESS FOR A PROPOSED USE OR DEVELOPMENT)

Decision: 16-07-2002 GPD

57541/PRC/2016/140 1 Collingwood Road Hillingdon
Change of use to a 6 bedroom HMO

Decision:

Comment on Relevant Planning History

The previous planning history related to a residential extension in connection with use as a single-family dwelling. There is no directly relevant history.

4. Planning Policies and Standards

From March 2013 the Council introduced an Article 4 Direction which means that it is necessary to obtain planning permission to convert a family dwelling (Use Class C3) to an HMO between 3 and 6 unrelated people sharing throughout Brunel and Uxbridge South.

Applications for planning permission will only be permitted where they comply with Interim Planning Policy HM1. This policy does not have development plan status, but is afforded considerable weight as a material planning consideration in the determination of planning applications. A key approach to determining planning applications is to maintain community cohesion and help develop strong, supportive and durable communities.

There is evidence to demonstrate that there is a need to control the number of HMOs across the two wards adjacent to Brunel University to ensure existing communities are not adversely affected by a concentration of HMOs. The interim policy supports a threshold approach and suggests that this should be 15% at neighbourhood level. It departs slightly from the 'Houses in Multiple Occupation and other non-self contained housing' Supplementary Planning Guidance (2004) (SPG) by noting that this considers concentrations in a street length, but does not factor in levels beyond individual streets at a neighbourhood level. Whilst it retains the 15% principle (5% in Conservation Areas) Policy HM1 also includes the principle of 20% across a neighbourhood area.

In assessing planning applications for HMOs, the Council will seek to ensure that the change of use will not be detrimental to the amenity of the area. Attention will be given to whether the applicant can demonstrate that:

- The dwelling is large enough to accommodate an increased number of residents;
- There is sufficient space for potential additional cars to park;
- There is sufficient space for appropriate provision of secure cycle parking;
- The condition of the property is of a high standard that contributes to the character of the area and that the condition will be maintained following the change of use to an HMO;
- The increase in the number of residents will not have an adverse impact on noise levels and the level of amenity neighbouring residents can reasonably expect to enjoy;
- There is sufficient space for storage provision for waste/recycling facilities in a suitably enclosed area within the curtilage of the property; and
- The change of use and increase in the number of residents will not result in the loss of front gardens to hard standing to parking or refuse areas which would have a detrimental affect on the street scene.

In 2004 the Council adopted Supplementary Planning Guidance "Houses in Multiple Occupation and other non-self contained housing" (SPG)

This SPG identifies a number of relevant Local Plan policies:

Policy H7 - recognises that conversions can provide a source of low cost accommodation for those people for whom owner-accommodation or local authority housing is unlikely to be an option;

Policies H2 and H3 seek to safeguard existing housing in the Borough. In this regard, the Council does not consider the change of use to an HMO to represent a loss of residential accommodation.

Paragraph 3.1 identifies that the greatest pressure is for use of semi-detached dwellings as HMO's but recognising that they generally have a gross floor area of between 70 m2 and 100 m2 that this will limit the number of occupants and that their plots often provide insufficient off-street parking and private amenity space.

Paragraph 3.9 states that the Council will require at least one ground floor habitable room over 10 m2 other than a kitchen for communal living purposes.

Paragraph 4.7 states that the Council will require up to 1 off-street parking space for every 2 habitable rooms, excluding those used for communal living purposes.

Paragraph 4.10 states that applicants will be required to give details of the proposed configuration of rooms.

Paragraph 4.11 states that applicants should consider the adequacy of existing sound insulation, particularly where bedrooms adjoin potentially noisy rooms including living rooms, bathrooms and WC's. Paragraph 4.12 states that at least two bathrooms are required where there are six or more occupants.

Paragraph 4.16 states that the Council will look for a minimum 15 m2 private usable amenity space per habitable room (excluding those used for communal living purposes).

Paragraph 6.13 states that the Council requires at least two domestic bins where the conversion is to be used by more than six people.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM7 Consideration of traffic generated by proposed developments.

AM14 New development and car parking standards.

OE1 Protection of the character and amenities of surrounding properties and the local area

OE3 Buildings or uses likely to cause noise annoyance - mitigation measures

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H2	Restrictions on changes of use of residential properties
H3	Loss and replacement of residential accommodation
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Neighbours were notified on 03/08/2016 and a site notice was displayed on 16/08/2016.

Following a complaint that the notice appeared to have been removed, a second notice was displayed on 08/09/2016 with a deadline for response of 29/09/2016.

At the end of the notification period there were three individual objections and a petition signed by 25 persons;

The objections raised in these are summarised as follows:

- (1) There is a restrictive covenant which prevents businesses and anti social behaviour etc.
- (2) It is understood that a planning permission would not override a covenant or rights to light but believes that the Council should enforce.
- (3) Loss of family sized dwelling.
- (4) At least 4 and possibly 5 rooms are below standard.
- (5) Not suitable for children or babies or wheelchair users.
- (6) Kitchen has limited cooking facilities and part of it appears to be a corridor.
- (7) Will harm the character of the area.
- (8) Will generate noise.
- (9) There is a fear of anti-social behaviour.
- (10) There is insufficient car parking.

Following deferral of the application, a further petition in objection has been received with 20 signatories. the following grounds are cited, In addition to those outlined above:

- 11) Impact on the character of the estate, including loss of community spirit.
- 12) Will add to on-street parking stress.
- 13) Will add to problems ongoing with the drainage system.
- 14) Is the applicant a fit and proper person to run such an establishment?

Issues relating to covenants, drainage and test of fit and proper person are not a material planning considerations. The other issues are discussed within the report.

Internal Consultees

HMO Housing Officer: No objection.

Environmental Protection Unit: No objection subject to a suitable level of facilities and amenities being achieved.

Access Officer: No objections.

Highways and Traffic: There are no on-street parking restrictions in place in the vicinity of the site. There is very little parking stress in the area of the site as the majority of local properties have off-street parking. The site has a PTAL value of 2 (poor) so there will be a reliance on private cars for trip making. The proposal is to change the use of the existing property from residential to a 6 bedroom HMO. Council's parking standard for an HMO is 1 car parking space per 2 habitable rooms and that is what is provided with this application which is acceptable. The applicant has offered the existing sheds for cycle parking which is acceptable. The existing refuse/recycling facilities will be continued in this instance. On the basis of the above comments no significant concerns over this application.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Paragraph 2.8 of the SPG HMO 2004 advises that policies H2 and H3 seek to safeguard existing housing in the borough. In this respect, it should be noted that the Council does not consider the change of use to a HMO to represent a loss of residential accommodation and as such the proposal would not be in conflict with the above mentioned policies. Hence the principle of the change of use to a House in Multiple Occupancy is considered acceptable, subject to the proposal meeting all other policy requirements and adopted guidelines.

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to maintain the quality of the built environment including providing high quality urban design. Furthermore policies BE13 and BE15 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) resist any development which would fail to harmonise with the existing street scene or would fail to safeguard the design of existing and adjoining sites.

The proposal does not involve any external alterations to the building and, in this regard, there should not be any obvious visual change as a result of the development.

However, Policy OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states permission will not normally be granted for uses and structures which are, or are likely to become, detrimental to the character or amenities of surrounding

properties or the area generally due to their siting or appearance, the storage or display of items, traffic generation and congestion, and noise and vibration emissions. In accordance with this policy and as the proposal is for the conversion from a single dwelling to a HMO, it would be considered prudent to impose a condition which requires details of management and maintenance for the up keep of the house and garden. Although properties used by single families are equally capable of becoming run down, many landlords do not live on-site and so physical problems with converted properties can go undetected for some time without proper management supervision. The transient nature of many converted properties, because of the relatively short duration of tenancies, also increases the need for the effective management and maintenance of properties. Regardless of the interior condition of a property, outwardly visible signs of poor management and maintenance (such as unkempt gardens) tend to have a detrimental effect on the overall street scene and level of residential amenity.

Effective management control, whether it be carried out by housing associations, managing agents or applicants themselves, is crucial to maintaining a satisfactory environment for tenants and for achieving a good tenant/neighbour relationship. Details of management and maintenance will therefore be applied through a planning condition and will be expected to include arrangements for:

- Keeping front and rear gardens free of refuse and unsightly household items;
- Mowing of grassed areas;
- Repairing of broken fencing, gates and other enclosures;
- Repairing of damaged or broken external facades of building(s).

Subject to a management and supervision condition, the proposal is considered acceptable in accordance with Policies BE13, BE15, BE19 and OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.08 Impact on neighbours

In assessing applications for HMOs, the Council will seek to ensure that the change of use will not be detrimental to the residential amenity of the area, including whether the dwelling is large enough and that any increase in the number of residents will not have an adverse impact on noise levels and the level of amenity neighbouring residents can reasonably be expected to enjoy. Under Policy OE1, uses which are likely to become detrimental to the amenities of the surrounding properties or area generally because of noise are not permitted and uses which have the potential to cause noise nuisance will need to be mitigated (Policy OE3).

Policy OE1 states permission will not normally be granted for uses and structures which are, or are likely to become, detrimental to the character or amenities of surrounding properties or the area generally due to their siting or appearance, the storage or display of items, traffic generation and congestion, and noise and vibration emissions.

The application property is attached to No. 74 Haig Road. The relationship between respective rooms is a critical consideration. In this regard, at ground floor level, there is no significant alteration of the internal layout beyond changing three of the ground floor rooms to bedrooms. None of these share a party wall with No. 74 Haig Road. The kitchen and entrance hallway do share a party wall. However, this is not a change from the existing layout and, from the last known planning history for No. 74 Haig Road it would appear that the kitchen would share a party wall with that property's kitchen. At first floor, there are three bedrooms. This is unchanged from the current layout and no adverse planning issues are raised.

The SPG interim policy supports a threshold approach to provision of HMO's within Brunel and Uxbridge South Wards. There is an existing unauthorised HMO at No. 14 Collingwood Road (which is subject of a separate planning application) and a licenced HMO at No. 87 Collingwood Road. There is a concurrent undetermined application at No. 85 Haig Road. No other HMO's are known to be in the area and, on this basis, it is concluded that the proposal will not breach the threshold for this form of development.

7.09 Living conditions for future occupiers

The guidance contained within the Council's SPG on Houses in Multiple Occupation advises that the occupancy levels for semi-detached houses should be a maximum of 10 and will be required to provide a ground floor habitable room over 10m², other than a kitchen for communal living purposes.

All bedrooms are considered to be of an acceptable size and layout and the future occupants of the property would enjoy a satisfactory level of residential amenity in accordance with the requirements of the Supplementary Planning Guidance Houses in Multiple Occupation and other non-self contained housing (2004).

The Council's SPG on HMOs require the provision of 15 square metres of external amenity space for each habitable room (excluding those used for communal living purposes). Therefore, the proposed development would be required to provide 90 square metres of external amenity space. A total of 92 square metres (excluding the space occupied by the rear outbuilding) is provided and this would therefore comply with Policy BE23 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). Furthermore, it should be noted that the application site is located virtually next door to public open space.

All of the bedrooms exceed 6.5 square metres and therefore exceed the space standard for this form of accommodation as set out in the SPG. The communal lounge, as submitted, was below standard. It forms a generally open plan area with the kitchen and the amended drawing shows that the communal lounge area (excluding the kitchen) is now, at 10.1 square metres, compliant with the SPG. All of the bedrooms have a reasonable level of outlook. One bedroom does have a view directly onto a car park space but also benefits from a second window overlooking the rear amenity space. None of the windows are overlooked from outside the site. One objection refers to unsuitability for children and people with disabilities. The applicant has confirmed that children would not normally be accommodated. However, when this does occur the parent and child will share two-bedrooms, which will mean that there will never be more than 6 occupants. Similarly, three bedrooms will be available on the ground floor which could accommodate a person with reduced physical mobility.

Overall, it is concluded that the accommodation offers an acceptable level of living conditions for future occupiers.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy AM7 of the Local Plan considers the traffic generated by proposals but states that permission will not be granted where the free flow of traffic or conditions of general highway or pedestrian safety are likely to be prejudiced. Paragraph 4.7 within the SPG 'Houses in Multiple Occupation' states that the Council will require the provision of up to 1 off-street parking space for every 2 habitable rooms, excluding those used for communal living purposes. The submitted plan shows the provision of 3 parking spaces within the frontage which would meet this requirement. The submitted plans also confirm the provision of 7 secure cycle spaces which will be conditioned accordingly. The proposal is therefore considered acceptable in accordance with Policy AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.11 Urban design, access and security

The issues are addressed in the sections above.

7.12 Disabled access

No issues raised.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Not applicable to this application.

7.15 Sustainable waste management

The proposal includes the provision of two 240L wheelie bins with permanent enclosure, located to the front/side of the property.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

The issues are addressed in the sections above.

7.19 Comments on Public Consultations

The issues raised by neighbours and through the petition are generally discussed throughout the report. Neighbours have raised the issue of a restrictive covenant and rights to light. The covenant referred to concerns issues of noise and disturbance and running a business. It is uncertain why the issue of rights to light has been raised since no external changes are proposed. As a general principle a planning permission cannot override a covenant or a right to light. Similarly, the existence of a covenant or a right of light cannot be taken into account in determination of a planning application. The applicant's attention has been drawn to the issue.

In response to concerns regarding anti-social behaviour, the applicant has produced a statement setting out more details of the management of the proposal. The applicant explains that she has been managing two HMO properties since 2001. During these 16 years she states that she has gained a huge amount of experience both in running and managing the HMO properties effectively. She actively engages with tenants, neighbours and local communities alike to ensure that the services she provides are in harmony with all concerned.

She continues that in the application property she intends to house mature and well-behaved people. She often works with the NHS and have been suppliers of temporary accommodation to Hillingdon council for the past 16 years. In the last 3 years, she has been a provider of 'bed and breakfast' services to the NHS, which represent 95% of the tenants. Historically, she has only ever taken on people who are over 20 years of age and those who do not have any history of violence. These people are classified as being 'vulnerable' (usually victims of crime i.e. domestic violence) and/or have some kind of illness. They are usually unable to return to their previous accommodation for various reasons. They are assessed regularly by the NHS's relevant medical team. She states that she has never experienced any serious problems with this group and have not encountered any bad or any anti-social behaviour either.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

No other issues raised.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be

given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The application seeks planning permission for a change of use from a dwelling house (Use Class C4) to a 6 person house in multiple occupation (Sui Generis).

The proposal does not include any significant external alterations. The proposal meets the standards for such use set out in the adopted SPG and off-street parking is provided to the appropriate standard.

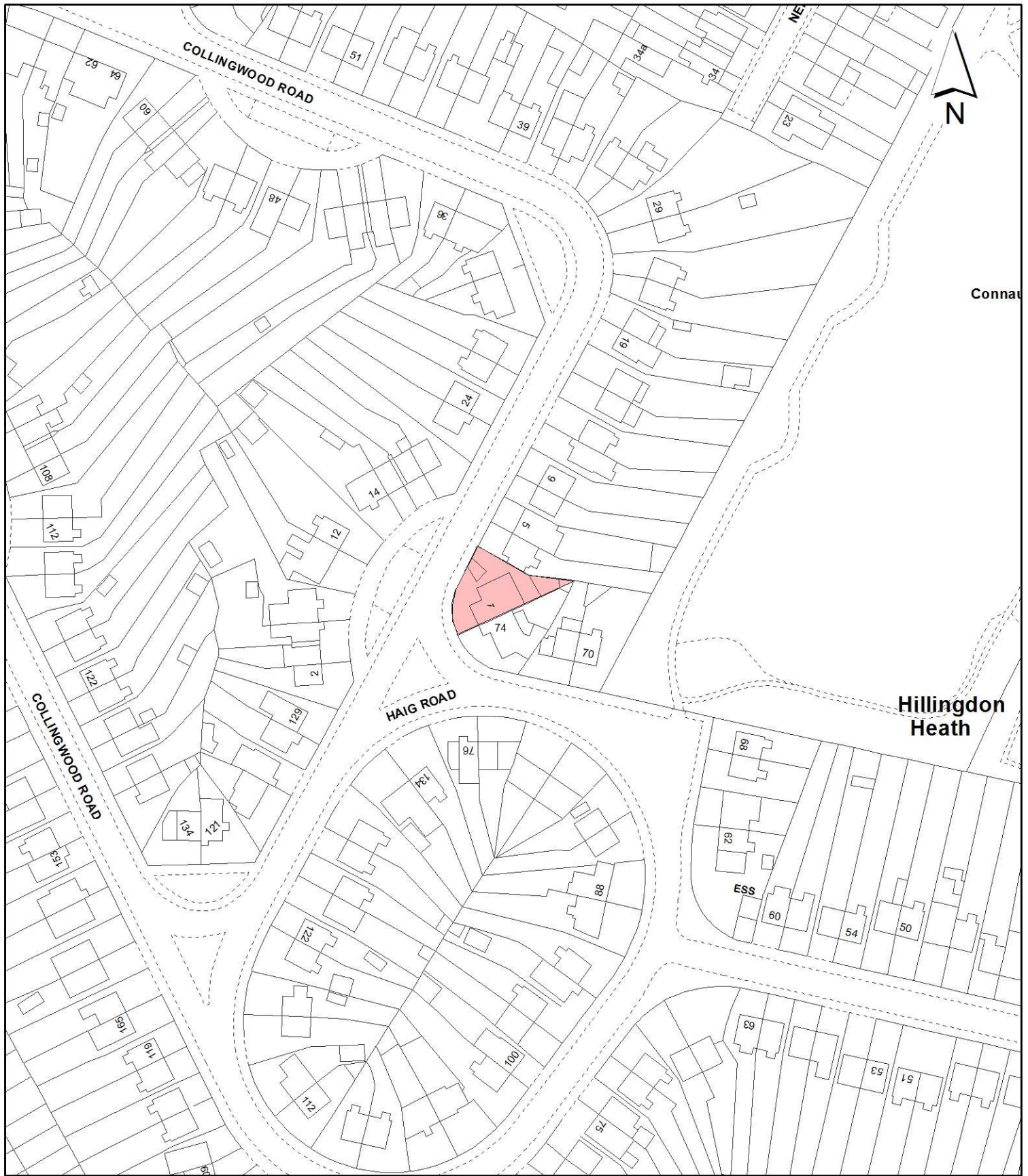
The proposal is not considered to have a greater impact upon the adjoining neighbours than the existing use and the application is considered acceptable.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
Supplementary Planning Guidance Houses in Multiple Occupation and other non-self contained housing (2004)

Contact Officer: Cris Lancaster

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

1 Collingwood Road

LONDON BOROUGH OF HILLINGDON
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

57541/APP/2016/2713

Scale:

1:1,250

Planning Committee:

Central & South

Date:

March 2017



HILLINGDON
 LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address 3 FIELD WAY COWLEY UXBRIDGE

Development: Part two storey, part single storey rear extension and first floor side extension.

LBH Ref Nos: 16250/APP/2016/4408

Drawing Nos: 135 Rev. P3
130 Rev. P2
102 Rev. P1
110 Rev. P1
101 Rev. P1
115 Rev. P2
120 Rev. P1

Date Plans Received: 07/12/2016 **Date(s) of Amendment(s):** 07/12/2016
Date Application Valid: 13/12/2016 12/12/2016

1. CONSIDERATIONS

1.1 Site and Locality

The application relates to a two storey detached property located on the East side of Field Way, Cowley Uxbridge. The principal elevation of the property faces West. The property has a front projecting bay, with the area to the front of the property primarily laid to hardstanding providing off street parking provision for three vehicles within the curtilage of the application site. A substantial sized garden is located to the rear of the property.

The surrounding area is residential in character comprising of two storey detached and semi-detached properties with a strong level of consistency in scale and design. The area is identified as a 'Developed Area' within the Hillingdon Local Plan (November 2012) and the site is within the designated Orchard Drive, Hamilton Road, Clayton Way Area of Special Local Character.

1.2 Proposed Scheme

The application seeks permission for a part two storey, part single storey rear extension and first floor side extension.

1.3 Relevant Planning History

16250/APP/2015/2370 3 Field Way Cowley Uxbridge

Single storey detached outbuilding to rear for use as gym/office/storage

Decision Date: 15-09-2015 Refused **Appeal:**

16250/APP/2015/2371 3 Field Way Cowley Uxbridge

Conversion of roof space to habitable use to include a rear dormer and conversion of roof from hip to gable end on both sides with a new gable end window (Application for a Certificate of Lawful Development for a Proposed Development)

Decision Date: 18-08-2015

Approved

Appeal:

Comment on Planning History

16250/APP/2015/2370 - Single storey detached outbuilding to rear for use as gym/office/storage. This application was refused for the following reasons:

1. The proposed detached outbuilding, by reason of its siting, size, scale, bulk and design fails to harmonise with the architectural style and design predominant within the designated Orchard Drive, Hamilton Road, Clayton Way Area of Special Local Character and would thus be detrimental to the visual amenity of the area. The proposed development is therefore contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE5, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the Council's adopted Supplementary Planning Document: HDAS Residential Extensions.

2. The proposed outbuilding by virtue of its size, scale, layout and the existence of an independent access, would be tantamount to the creation of a self contained separate dwelling, where such a dwelling would not be acceptable due to its impact on the character and appearance of the host dwelling and the wider locality, the need for additional parking and amenity space and issues relating to impact on the existing and adjoining dwellings. Therefore the proposal would be contrary to Policies AM14, BE13, BE15, BE19, BE20, BE21, BE23 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the Council's adopted Supplementary Planning Document HDAS: Residential Extensions.

16250/APP/2015/2371- Conversion of roof space to habitable use to include a rear dormer and conversion of roof from hip to gable end on both sides with a new gable end window (Application for a Certificate of Lawful Development for a Proposed Development)- was approved.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

EXTERNAL:

6 neighbouring properties were consulted by letter on the 14th December 2017. A site notice was also displayed which expired on the 10th January 2017. One response received objecting to the proposal on the following grounds:

1) This is a massive extension.

2) This is an area of special interest.

3) The proposal has a pitched roof with large flat crown approx 19% of the whole roof. This is high percentage and is not normally allowed for crown roofs and is uncharacteristic for the area.

4) The proposal has a bulk mass which would have a severe dominance over both its neighbours (and over its original construction).

- 5) There would be a severe loss of daylight and sunlight to the ground floor living room of no.1 and also to the rear room, patio and much of the garden as the proposal sets a two storey wall only 2.1m away, effectively blanking existing windows, including those served by the cat-slide roof.
- 6) In the NW corner a roof light is proposed, this is a very unusual design as it limits the light, it is believed that this was deliberately placed there so that the roof light would be 'forgotten' and may be intended to be used as a railing/balcony. This would create overlooking and loss of privacy.
- 7) Referring to HDAS 3.1- the extension should not protrude out too far- this does massively. The proposed extension is more than 1.8 m.
- 8) The proposal has significant overshadowing and overbearing effect on habitable rooms of adjoining dwellings.
- 9) The proposal contradict the requirements form HDAS Paragraph 5.4, 5.20 and 6.9.
- 10) The cat-slide roof to the North of number 3 referred to, was purposely built originally in order to retain daylight and sunlight from the south into the living area of number one. that requirement remains. The cat-slide roof is also part of the character of this road.

Officer Comment: The issues raised are covered in the main report.

Ward Councillor: Requests that the application is reported to Committee.

INTERNAL:

Conservation and Urban Design Officer:

The existing property is located within the Orchard Drive, Hamilton Road, Clayton Way Area of Special Local Character (ASLC). It is an attractive, well detailed property, characterised by a projecting gable to the front featuring hung tiles and a modest bay window at ground floor. The property features a characteristic cat slide roof over the existing garage, which positively contributes to the character of the original property and surrounding area. There are concerns regarding the part two storey, part single rear extension and side extension. There are concerns in regards to the over depth of the rear addition, creation of a crown roof and alteration of the existing catslide element. It would dramatically alter the original appearance and character of the existing property, therefore it is recommended that the proposal is amended in order to be subservient to the original dwelling.

Officer Comment: An amended scheme has been provided and the Conservation and Urban Design Officer comments as follows on the amended scheme:

Taking into account that the depth has been reduced, a compromise could be met regarding this extension, in this instance. It would be considered a better design than what was proposed for the roof extension, and would sustain the character of the area.

Trees and Landscape Officer:

This site is occupied by a detached house on the east side of Field Way, situated within a long garden, the back of which extends to Cleveland Road.

COMMENT: No trees or other landscape features of merit will be affected by the development. The extension to the rear will have little, if any, impact on the public realm - and a large area of back garden will remain post-development.

RECOMMENDATION: No objection and, in this case, no need for landscape conditions.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

BE5 New development within areas of special local character

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

AM7 Consideration of traffic generated by proposed developments.

AM14 New development and car parking standards.

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

LPP 3.5 (2016) Quality and design of housing developments

5. MAIN PLANNING ISSUES

The main planning issues are the effect of the development on the character and appearance of the original building, the street scene and the level of impact on the residential amenity and light levels of the adjoining neighbours.

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to maintain the quality of the built environment including providing high quality urban design.

Policy BE15 of the Hillingdon Local Plan Part two (Saved UDP Policies) requires alterations and extensions to existing buildings to harmonise with the scale, form and architectural composition of the original building. Policy BE13 requires the layout and appearance of extensions to harmonise with the existing street scene and Policy BE19 ensures any new development complements or improves the amenity and character of the area.

The Council's adopted Supplementary Planning Document (SPD) HDAS: Residential

Extensions, contains design guidance (below) for all types of extensions which should appear subordinate in scale to the original building.

Paragraph 3.3 of the HDAS states that single storey rear extensions proposed on detached houses with a plot measuring 5 m wide or more should be no more than 4 m deep. Likewise paragraph 3.7 states that such extensions should be no more than 3.4 m in height.

In relation to the design of the proposal, the existing catslide element, which is a feature of the property, would be lost and overall the roof would be altered so that a crown roof would cover the whole development, which it must be admitted would be visible given the siting of the property and the spacious nature of the surroundings. This would clearly alter the original appearance of the property. However, the proposal has been amended so that the depth is reduced and the extension retains the existing projecting gable to the front featuring hung tiles and the modest bay window at ground floor level, which is a defining characteristic of the property. Notably, the Conservation Officer considers that the revised proposal would sustain the character of the area. Thus, on balance, it is considered that the proposal is acceptable in design terms and would comply with Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

Policy BE20 requires any new development to be laid out so as to protect the daylight and sunlight levels of existing houses. Policy BE21 requires new extensions by virtue of their siting, bulk and proximity should not result in a significant loss of residential amenity to neighbouring properties and Policy BE24 should protect the privacy of the occupiers and their neighbours.

The plans have been amended and the ground floor has a depth of 6.3m where it adjoins No.5 and 4.3m adjoining No. 1, with a height of 3.4m. The proposal would exceed the limits set out within the adopted SPD. However it should be noted that No. 5 already benefits from a 5.5m deep extension, which given the siting of the original property, would protrude further than the proposed extension to No.3. Furthermore, a 1m gap would be retained between the two properties. With regard to No.1, this property also benefits from a deep extension and again given the siting of the original property, would result in the extension to No.3 being in line with the rear of this property. Furthermore, a 2m gap would be retained between the two properties. Paragraph 3.15 of the SPD states that a deeper extension could be permitted where there is an existing deep rear extension at an adjoining/adjacent property, and where the proposed rear extension would not have any adverse impact on the light and outlook at adjacent properties, and would not appear dominating and obtrusive in relation to neighbouring views. It is considered that the extension is of a size and scale which would not significantly impact on the residential amenities of the occupiers of the adjoining properties from increased overshadowing, loss of sunlight, visual intrusion or over-dominance. Policy BE24 states that the proposal should protect the privacy of the occupiers and their neighbours would not result in a loss of privacy to the adjacent dwellings Therefore the proposal complies with the requirements of Policies BE19, BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

With regards to the first floor rear extension, paragraph 6.4 of the adopted Supplementary Planning Document (SPD) HDAS: Residential Extensions states that it is important that the extension is designed so as to appear subordinate to the original house. Rear extensions

will only be allowed where there is no significant over-dominance, overshadowing, loss of outlook and daylight. In particular, the extension should not protrude out too far from the rear wall of the original house. The first floor should not extend beyond a 45-degree angle from the closest neighbours windows and if this can be achieved then the maximum depth of 4m for a detached house would be acceptable.

The proposed first floor rear extension would be 6m deep where it adjoins No.1 and 4.4 m deep adjoining No. 5. This would clearly exceed the limits set out within the SPD. However, given the siting of No.3 forward of both Nos. 1 and 5, the proposed first floor would extend beyond the first floor rear of No.1 by 2.7m and by 2m beyond the first floor of No. 5. The proposed extension would not extend beyond a 45 degree line of sight taken from the nearest window of any habitable room of the neighbouring properties.

With regard to privacy, no new windows are proposed on the side elevations facing the adjoining properties, although a new door is proposed leading from the utility room to the side passage between Nos 1 and 3. This is at ground floor level and would face the boundary fence and the blank side wall of No.1 and would not result in any loss of privacy.

It is thus considered that the proposal would not have such a significant in terms of over-dominance, overshadowing, loss of outlook or daylight impacts as to justify refusal. As such, the proposal would accord with Policies BE20, BE21, and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

It is considered that all the proposed habitable rooms, and those altered by the proposed development would have adequate outlook and entry of light from the proposed rooflights and sufficiently sized window openings, therefore complying with the Housing Standards in the Minor Alterations to The London Plan (March 2016)

Paragraph 5.13 of the HDAS SPD requires sufficient garden space to be retained as a consequence of an extension. The proposal would remain a three dwelling, which would require the provision of a minimum garden area of 60 sq.m. The proposal would result in the retention of approximately 531.12 sq.m of usable area, which significantly exceeds the minimum required. Adequate garden/amenity space would be therefore be retained for the occupiers, in compliance with Policy BE23 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

The property has existing hardstanding to the front which has sufficient space to provide parking for about three cars, which would accord with the requirements of Policy AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the Council's adopted parking standards.

Given the above considerations, this application is considered to be acceptable and is therefore recommended for approval.

6. RECOMMENDATION

APPROVAL subject to the following:

1 HO1 Time Limit

The development hereby permitted shall be begun before the expiration of three years

from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HO2 Accordance with approved

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 130 Rev. P2 and 135 Rev. P3.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

3 HO4 Materials

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building and shall thereafter be retained as such.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

4 HO5 No additional windows or doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing 1 or 5 Field Way.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

5 HO7 No roof gardens

Access to the flat roof over the extension hereby approved shall be for maintenance or emergency purposes only and the flat roof shall not be used as a roof garden, terrace, balcony, patio or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

INFORMATIVES

- 1** On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in

September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

- 2 The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

PT1.BE1	(2012) Built Environment
PT1.HE1	(2012) Heritage

Part 2 Policies:

BE5	New development within areas of special local character
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.

BE24	Requires new development to ensure adequate levels of privacy to neighbours.
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
LPP 3.5	(2016) Quality and design of housing developments

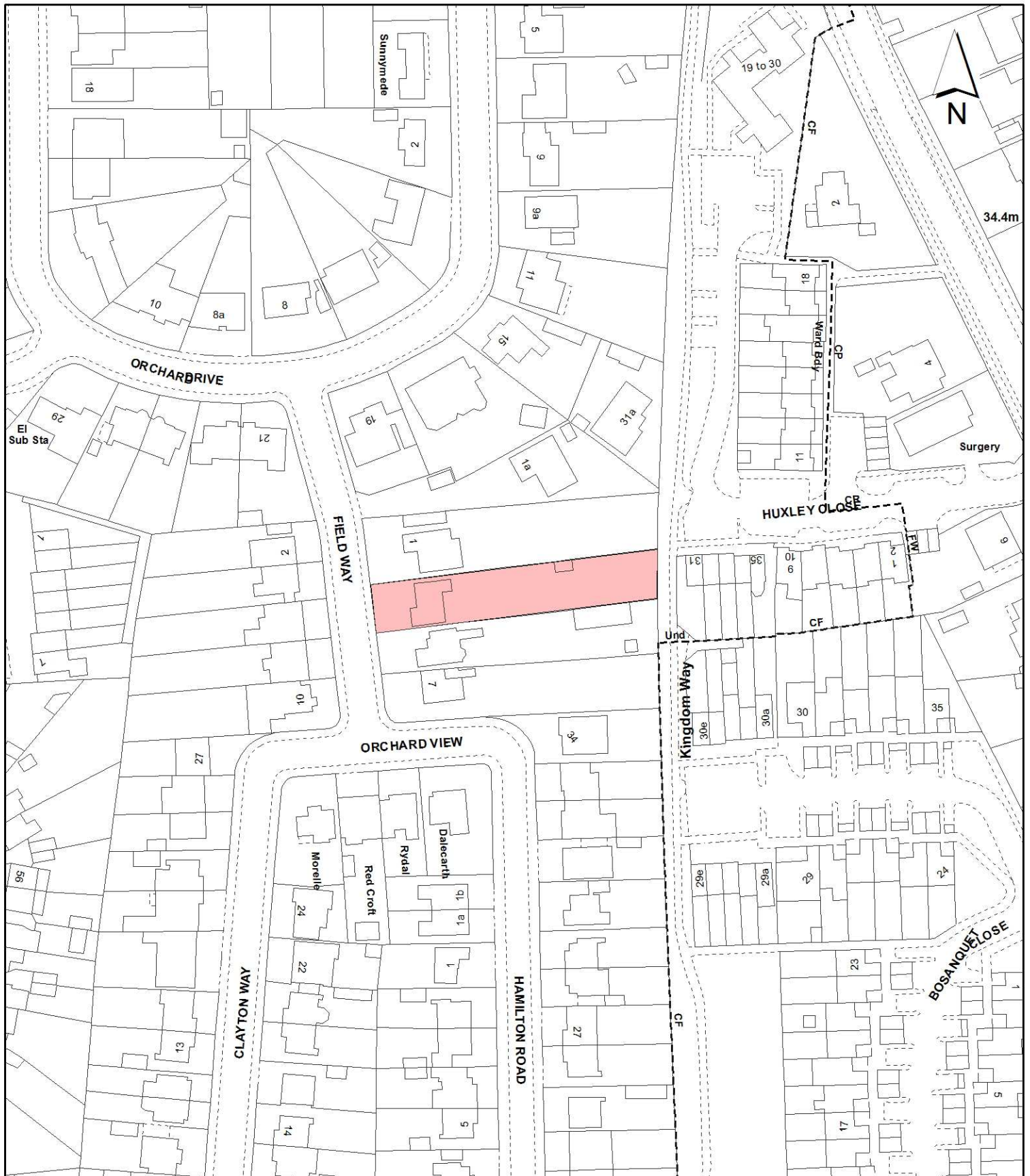
- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.
- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).
- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).

- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
- carry out work to an existing party wall;
 - build on the boundary with a neighbouring property;
 - in some circumstances, carry out groundworks within 6 metres of an adjoining building.
- Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.
- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.
- 9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -
- A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.
 - B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.
 - C) The elimination of the release of dust or odours that could create a public health nuisance.
 - D) No bonfires that create dark smoke or nuisance to local residents.
- You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.
- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.

- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Manpreet Viridi

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

3 Field Way

Planning Application Ref:

16250/APP/2016/4408

Scale:

1:1,250

Planning Committee:

Central & South

Date:

March 2017

LONDON BOROUGH OF HILLINGDON

Residents Services Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address BRUNEL UNIVERSITY KINGSTON LANE HILLINGDON

Development: Single storey rear extension, plant enclosure, vehicle access gates, ramp and new fencing

LBH Ref Nos: 532/APP/2016/4572

Drawing Nos: P(0)10 Rev. A
P(0)08 Rev. A
P(0)07 Rev. A
P(0)06 Rev. A
P(0)05 Rev. A
P(0)04 Rev. A
P(0)02 Rev. A
P(0)01 Rev. A
Design and Access Statement
Arboricultural Implications Assessment
Tree Protection Plan
P(0)09
Covering Letter/Planning Statement
P(0)03

Date Plans Received: 20/12/2016

Date(s) of Amendment(s):

Date Application Valid: 06/01/2017

1. SUMMARY

The application seeks full planning permission for the erection of a single storey rear extension, plant enclosure, vehicle access gates, ramp and new fencing.

It is considered that the proposal would not have any significant impact on the openness of the Green Belt within this Major Developed Site and the amenities of nearby occupiers would remain unaffected. The proposal is also considered acceptable in all other regards.

Accordingly, the application is recommended for approval subject to conditions.

2. RECOMMENDATION

APPROVAL subject to the following:

1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers P(0)04 Rev. A, P(0)05 Rev. A, P(0)06 Rev. A, P(0)07 Rev. A, P(0)08 Rev. A, P(0)09 and

P(0)10 Rev. A and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

3 HO4 Materials

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building and shall thereafter be retained as such.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

4 COM10 Tree to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

5 COM8 Tree Protection

The development shall be carried in accordance with the tree protection works and Tree Protection Plan as set out in the Arboricultural Implications Assessment by Merewood Arboricultural Consultancy. The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

- 2.a There shall be no changes in ground levels;
- 2.b No materials or plant shall be stored;
- 2.c No buildings or temporary buildings shall be erected or stationed.
- 2.d No materials or waste shall be burnt; and.
- 2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

6 NONSC Non Standard Condition

The rating level of noise emitted from plant and/or machinery hereby approved shall be no higher than the existing background noise level. The noise levels shall be determined at the neighbouring offices/classrooms. The measurements and assessment shall be made in accordance with British Standard 4142 "Method for rating industrial noise affecting mixed residential and industrial areas".

REASON: To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Unitary Development Plan.

7 NONSC Non Standard Condition

The LAeq,T noise level of any plant and/or machinery hereby approved and determined at the site boundary shall be at least 5 dB below the lowest recorded background noise level LA90,TT. The reference time T shall be 1 hour at any time during the day, evening or night

REASON: To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Unitary Development Plan.

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

- OL1 Green Belt - acceptable open land uses and restrictions on new development
- OL4 Green Belt - replacement or extension of buildings
- AM7 Consideration of traffic generated by proposed developments.
- AM14 New development and car parking standards.
New development must harmonise with the existing street scene.

BE13	
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
LPP 7.16	(2016) Green Belt
NPPF9	NPPF - Protecting Green Belt land

3 159 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 147 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best

Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. CONSIDERATIONS

3.1 Site and Locality

The Elliott Jaques Building lies at the South East corner of the Uxbridge campus close to Kingston Lane. The building is T-shaped in plan and it is surrounded by car parking broken up by trees and soft landscaping. A tree belt separates the site from Kingston Lane which runs along the Eastern boundary line of the site and screens the building from view. The building is single storey with a partial mezzanine level. The elevations of the existing building are of red brick with timber framed horizontal strip windows, the roof is a low dual pitched form clad in red colour coated metal panels.

Brunel University is a Major Developed Site within the Metropolitan Green Belt as identified in the Policies of the Hillingdon Local Plan (November 2012).

3.2 Proposed Scheme

The application seeks full planning permission for the erection of a single storey rear extension, plant enclosure, vehicle access gates, ramp and new fencing.

The proposal consists of two areas of extension to the existing building. The first extension being an addition to the external steel framed structure to the East elevation to accommodate additional plant. The extension would infill the void area above the current vehicle access yard, providing external roof level space, whilst retaining the open vehicle access at ground level. The existing maintenance access stairs would be retained and utilised to access the new roof level extension area. The existing perimeter fence and gates at ground level would also be retained. The second extension would be located to the south of the 'T' shape within the existing car park area to accommodate the laboratory. The new facility is to support and enhance the current use of the existing building.

3.3 Relevant Planning History

532/APP/2016/3943 Brunel University Kingston Lane Hillingdon
Erection of a conservatory to Elliott Jaques Building

Decision: 18-01-2017 Approved

532/APP/2016/4568 Brunel University Kingston Lane Hillingdon
Removal of condition 1 (Retention of Structures) of planning permission ref: 532/APP/2013/1586 dated 10/10/2013 (Single storey structure to accommodate 3 x test chambers and associated roof plant for a temporary period of 10 years, following demolition of existing building)

Decision:

Comment on Relevant Planning History

The following planning history is considered to be of relevance

532/APP/2013/1586 dated 10/10/2013 was for a single storey structure to accommodate 3 x test chambers and associated roof plant for a temporary period of 10 years, following demolition of existing building. A current application under reference 532/APP/2016/4568 seeks permission for the removal of condition 1 allowing for the retention of the extension on a permanent basis.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains

Part 2 Policies:

OL1 Green Belt - acceptable open land uses and restrictions on new development

OL4 Green Belt - replacement or extension of buildings

AM7 Consideration of traffic generated by proposed developments.

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

OE1 Protection of the character and amenities of surrounding properties and the local area

LPP 7.16 (2016) Green Belt

NPPF9 NPPF - Protecting Green Belt land

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

The Cleveland Road Neighbourhood Watch and the Cleveland Road Residents Association were consulted by letter dated 18.1.17 and a site notice was displayed on Kingston Lane which expired on 17.2.17. No response received.

Internal Consultees

Tree Officer:

The development on the East face of the building is close to some boundary trees which line the service road. These trees were planted as part of the green infrastructure of the university and they contribute to the character and appearance of the area. A tree report has been prepared by Merewood Arboricultural Consultancy. The report highlights the presence of a 'B' grade lime tree which is situated to the North of the service yard/area due to be developed. The report recommends tree protection and a construction method statement, which, if adhered to, will prevent any adverse impact on the tree.

RECOMMENDATION: No objection subject to COM8 (adherence to existing recommendations) and COM10.

Highways Officer:

The proposal will result in the loss of 10 additional car parking spaces, however the Brunel campus has around 2000 car parking spaces overall, with a cap of 2080 spaces. The loss is therefore minimal and unlikely to result in a material impact on the demand for car parking spaces

EPU:

The Environmental Protection Unit has examined the planning application above and wish to make the comment below:

Noise affecting offices/other noise sensitive premises

The rating level of noise emitted from plant and/or machinery hereby approved shall be no higher than the existing background noise level. The noise levels shall be determined at the neighbouring offices/classrooms. The measurements and assessment shall be made in accordance with British Standard 4142 "Method for rating industrial noise affecting mixed residential and industrial areas".

REASON: To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Unitary Development Plan.

Noise affecting environment

The LAeq,T noise level of any plant and/or machinery hereby approved and determined at the site boundary shall be at least 5 dB below the lowest recorded background noise level LA90,TT. The reference time T shall be 1 hour at any time during the day, evening or night.

REASON: To safeguard the amenity of the surrounding area in accordance with policy OE1 of the

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application site lies within a Major Developed Site located inside the Metropolitan Green Belt. Accordingly, the proposal for additions to the building is subject to the provisions of Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

The proposal would not significantly impact on the bulk or character of the existing building. The extensions would be subordinate in size and scale to the parent building and sympathetic in design in terms in that it has a functional appearance, related to the research type use of the parent building. It is considered that this extension and plant would not impact on the openness or significantly increase the built up appearance of the site, nor does it have any detrimental impact on the character of the surrounding area.

The proposal is considered to fully comply with the provisions of Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), by not impacting on the openness of the Green Belt and no objection is raised to the principle of the development.

7.02 Density of the proposed development

Not applicable to the application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to the application.

7.04 Airport safeguarding

Not applicable to the application.

7.05 Impact on the green belt

The proposal is not considered to have a detrimental impact on the Green Belt or surrounding area as discussed within the 'Principle of development' and 'Impact on the character & appearance of the area' sections of this report.

7.07 Impact on the character & appearance of the area

The application site lies within a Major Developed Site located inside the Metropolitan Green Belt characterised by large education related buildings. The design and scale of the extensions, plant and fencing are considered sympathetic and subordinate to the overall building and, having regard to the immediate context, it is considered that they would not harm the openness or amenity of the Green Belt. There is no policy objection to the proposal, which would accord with Policies OL1, OL4 and OL5 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

It is considered that the proposal would not harm the overall character or appearance of the University Campus and surrounding area. Accordingly, the proposal would accord with Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.08 Impact on neighbours

This part of the Elliott Jaques Building is not readily visible from outside of the University Campus, being located over 16m from Kingston Lane. It is further noted that there are a significant number of trees obscuring the view of the application building from Kingston Lane. Given the distances involved and the nature of the development, the proposal would have no detrimental impact on any residential properties and would therefore accord with Policies BE19, BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP

Policies (November 2012).

7.09 Living conditions for future occupiers

Not applicable to the application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy AM7 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) considers whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety. Policy AM14 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) seeks to ensure that all development is in accordance with the Council's adopted Car Parking Standards.

The proposal would result in the loss of 10 car parking spaces adjacent to the Elliot Jaques Building. The loss of the 10 spaces is in addition to those lost under application reference 532/APP/2013/1586. The Highways Officer has advised that Brunel Campus has around 2000 car parking spaces overall, with a cap of 2080 spaces. The loss is therefore minimal and unlikely to result in a material impact on the demand for car parking spaces. As such the proposal is considered acceptable in accordance with Policies AM7 and AM14 of the Hillingdon Local Plan - Saved UDP Policies (November 2012).

7.11 Urban design, access and security

The issues relating to design are addressed in the sections above.

7.12 Disabled access

No issues raised.

7.13 Provision of affordable & special needs housing

Not applicable to the application.

7.14 Trees, landscaping and Ecology

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

The development on the East face of the building is close to some boundary trees which line the service road. These trees were planted as part of the green infrastructure of the university and they contribute to the character and appearance of the area. A tree report has been prepared by Merewood Arboricultural Consultancy. The report highlights the presence of a 'B' grade lime tree which is situated to the North of the service yard/area due to be developed. The report recommends tree protection and a construction method statement. The Council's Landscape Officer has advised that if the tree protection measures identified within the method statement are adhered to, there would be no adverse impact on the tree. Subject to appropriate conditions requiring tree protection, the proposal is considered acceptable in accordance with Policy BE38 of the Hillingdon Local Plan - Saved UDP Policies (November 2012).

7.15 Sustainable waste management

Not applicable to the application.

7.16 Renewable energy / Sustainability

Not applicable to the application.

7.17 Flooding or Drainage Issues

Not applicable to the application.

7.18 Noise or Air Quality Issues

Given the location of the proposed facilities in relation to the existing research building, the

adjacent road which is at a higher level and the distance to the nearest residential occupiers it is not considered the proposal would give rise to any unacceptable noise impacts. To this effect the Council's Environmental Protection Unit have raised no objections subject to precautionary conditions to restrict the noise levels to be no higher than the existing background noise level.

7.19 Comments on Public Consultations

No external consultation responses received.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

No other issues raised.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected

characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

It is considered that the proposal would not have any significant impact on the openness of the Green Belt within this Major Developed Site and the amenities of nearby occupiers would remain unaffected. The proposal is also considered acceptable in all other regards.

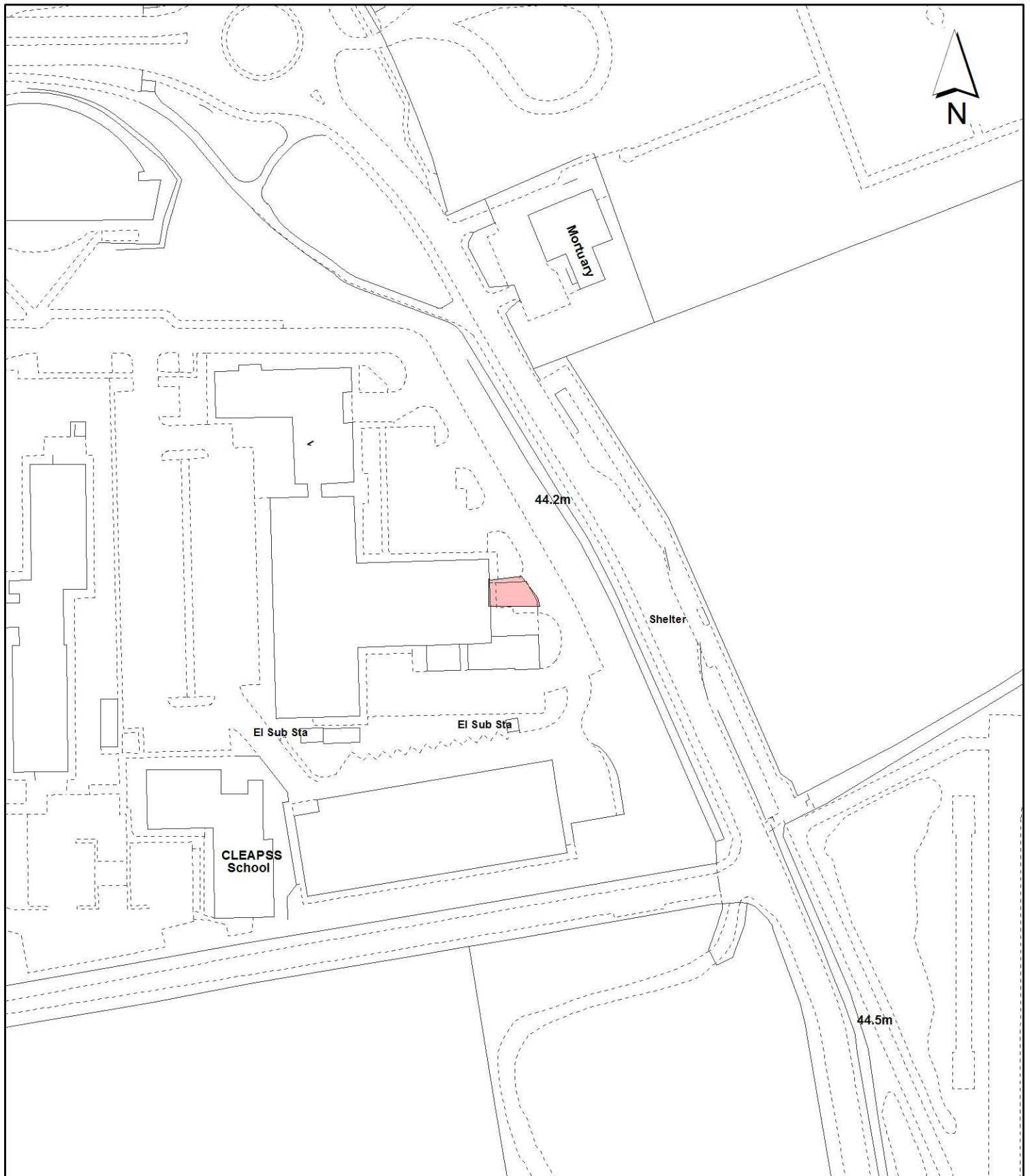
Accordingly, the application is recommended for approval subject to conditions.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
The London Plan (2016)
Hillingdon Design and Accessibility Statement: Accessible Hillingdon
National Planning Policy Framework

Contact Officer: Nicola Taplin

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

Brunel University

LONDON BOROUGH OF HILLINGDON
Residents Services Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
532/APP/2016/4572

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address BRUNEL UNIVERSITY KINGSTON LANE HILLINGDON

Development: Removal of condition 1 (Retention of Structures) of planning permission ref: 532/APP/2013/1586 dated 10/10/2013 (Single storey structure to accommodate 3 x test chambers and associated roof plant for a temporary period of 10 years, following demolition of existing building)

LBH Ref Nos: 532/APP/2016/4568

Drawing Nos: Covering Letter/Planning Statement
P(0)01 Rev. B
Existing Site Layout
P(0)04 Rev. B
P(0)03 Rev. B
P(0)06 Rev. A
P(0)05 Rev. A
P(0)07 Rev. D
Design and Access Statement

Date Plans Received: 20/12/2016

Date(s) of Amendment(s):

Date Application Valid: 20/12/2016

1. SUMMARY

The application seeks permission for the removal of condition 1 (Retention of Structures) of planning permission ref: 532/APP/2013/1586 dated 10/10/2013 (Single storey structure to accommodate 3 x test chambers and associated roof plant for a temporary period of 10 years, following demolition of existing building). The applicant has advised that it was assumed at the time of the previous application that the life span of the extension was only 10 years, however, the building is in fact designed to last as long as any other building at the campus. The actual reason for requesting a temporary 10 year consent was that this was the length of the original funding for the research. However, the funding and proposed research is no longer time limited. The retention of this building on a permanent basis is not considered to have an unacceptable impact on the Metropolitan Green Belt and would not result in any highway safety or residential amenity concerns. The application is therefore recommended for approval.

2. RECOMMENDATION

APPROVAL subject to the following:

1 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers P(0)04 Rev. B, P(0)05 Rev. A, P(0)06 Rev. A and P(0)07 Rev. D and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

INFORMATIVES

1 152 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL4	Green Belt - replacement or extension of buildings
LPP 7.16	(2016) Green Belt
NPPF9	NPPF - Protecting Green Belt land

3 159 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies. On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 115 **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. CONSIDERATIONS

3.1 Site and Locality

The Elliott Jaques Building lies at the South East corner of the Uxbridge campus close to Kingston Lane. The building is T-shaped in plan and it is surrounded by car parking broken up by trees and soft landscaping. A tree belt separates the site from Kingston Lane which runs along the Eastern boundary line of the site and screens the building from view. The building is single storey with a partial mezzanine level. The elevations of the existing building are of red brick with timber framed horizontal strip windows, the roof is a low dual pitched form clad in red colour coated metal panels. The extension to which this application relates is to the South Eastern corner of the building, which replaced an existing smaller ancillary storage building.

Brunel University is a Major Developed Site within the Metropolitan Green Belt as identified in the Policies of the Hillingdon Local Plan (November 2012).

3.2 Proposed Scheme

The application seeks permission for the removal of condition 1 (Retention of Structures) of planning permission ref: 532/APP/2013/1586 dated 10/10/2013 (Single storey structure to accommodate 3 x test chambers and associated roof plant for a temporary period of 10 years, following demolition of existing building).

3.3 Relevant Planning History

532/APP/2013/1586 Elliott Jaques Building, Brunel University Kingston Lane Hillingdon
Single storey structure to accommodate 3 x test chambers and associated roof plant for a temporary period of 10 year, following demolition of existing building.

Decision: 24-09-2013 Approved

Comment on Relevant Planning History

The original approval reference 532/APP/2013/1586 dated 10/10/2013 was for a single storey structure to accommodate 3 x test chambers and associated roof plant for a temporary period of 10 years, following demolition of existing building. The committee report stated:

"The applicant has applied for a 10 year consent for the proposal. With a lack of support evidence provided behind the reasoning for the 10 year consent, it is assumed that this is the operational lifespan of the extension, before a replacement is required. Therefore, a condition relating to its removal after 10 years is recommended to ensure it does not remain vacant in perpetuity."

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains

Part 2 Policies:

AM7 Consideration of traffic generated by proposed developments.

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

OL1 Green Belt - acceptable open land uses and restrictions on new development

OL4 Green Belt - replacement or extension of buildings

LPP 7.16 (2016) Green Belt

NPPF9 NPPF - Protecting Green Belt land

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

The Cleveland Road Neighbourhood Watch and the Cleveland Road Residents Association were consulted by letter dated 4.1.17 and a site notice was displayed on Kingston Lane which expired on 27.1.17. No response received.

Internal Consultees

Highways Officer:

The proposal will result in the loss of 8 car parking spaces, however the Brunel campus has around 2000 car parking spaces overall, with a cap of 2080 spaces. The loss is therefore minimal and unlikely to result in a material impact on the demand for car parking spaces. No objections are raised on highway grounds.

EPU: No Objections.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The application site lies within a Major Developed Site located inside the Metropolitan Green Belt. Accordingly, the proposal for additions to the building is subject to the provisions of Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

The extension has been built and was granted condition for a 10 year period. The committee report accompanying the original permission advised:

"The applicant has applied for a 10 year consent for the proposal. With a lack of support evidence provided behind the reasoning for the 10 year consent, it is assumed that this is the operational lifespan of the extension, before a replacement is required. Therefore, a condition relating to its removal after 10 years is recommended to ensure it does not remain vacant in perpetuity."

The applicant has advised that it was assumed at the time of the previous application that the life span of the extension was only 10 years, however, the building is in fact designed to last as long as any other building at the campus. The actual reason for requesting a temporary 10 year consent was that this was the length of the original funding for the research. However, the funding and proposed research is no longer time limited.

Overall, it is considered that the retention of this extension on a permanent basis would not significantly impact on the bulk or character of the existing building. The extension is subordinate in size and scale to the parent building and is sympathetic in design in terms in that it has a functional appearance, related to the research type use of the parent building. It is considered that this extension does not impact on the openness or significantly increase the built up appearance of the site, nor does it have any detrimental impact on the character of the surrounding area.

The retention of this building on a permanent basis is considered to fully comply with the provisions of Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), by not impacting on the openness of the Green Belt and no objection is raised to the principle of the development.

7.02 Density of the proposed development

Not relevant to the consideration of this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not relevant to the consideration of this application.

7.04 Airport safeguarding

Not relevant to the consideration of this application.

7.05 Impact on the green belt

The proposal is considered not to have a detrimental impact on the Green Belt or

surrounding area as discussed within the 'Principle of development' and 'Impact on the character & appearance of the area' sections of this report.

7.06 Environmental Impact

The retention of the extension on a permanent basis would not have any adverse environmental impacts.

7.07 Impact on the character & appearance of the area

The application site lies within a Major Developed Site located inside the Metropolitan Green Belt characterised by large education related buildings. The extension has been built and the application seeks permission to remove the temporary permission. The design and scale of the extension is considered sympathetic and subordinate to the overall building and, having regard to the immediate context, it is considered that its retention on a permanent basis would not harm the openness or amenity of the Green Belt. There is no policy objection to the proposal, which would accord with Policies OL1, OL4 and OL5 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

It is considered that the proposal would not harm the overall character or appearance of the University Campus and surrounding area. Accordingly, the proposal would accord with Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.08 Impact on neighbours

The retention of this extension on a permanent basis would not have any detrimental impact on the amenity of the existing Elliott Jaques Building, any teaching space or to any neighbouring halls of residence. It is noted that the extension is not readily visible from outside of the University Campus, being located over 16m from Kingston Lane. It is further noted that there are a significant number of trees obscuring the view of the application building from Kingston Lane. Given the distances involved and the nature of the development, the proposal would have no detrimental impact on any residential properties and would therefore accord with Policies BE19, BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.09 Living conditions for future occupiers

Not relevant to the consideration of this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy AM7 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) considers whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety. Policy AM14 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) seeks to ensure that all development is in accordance with the Council's adopted Car Parking Standards.

The Council's Highways Engineer has not raised any objection to the scheme. The proposal would not give rise to any negative concerns regarding parking, traffic generation, highway safety or pedestrian safety owing to the scale and location of the development.

7.11 Urban design, access and security

Not relevant to the consideration of this application.

7.12 Disabled access

Not relevant to the consideration of this application.

7.13 Provision of affordable & special needs housing

Not relevant to the consideration of this application.

7.14 Trees, landscaping and Ecology

Not relevant to the consideration of this application.

7.15 Sustainable waste management

Not relevant to the consideration of this application.

7.16 Renewable energy / Sustainability

Not relevant to the consideration of this application.

7.17 Flooding or Drainage Issues

Not relevant to the consideration of this application.

7.18 Noise or Air Quality Issues

Not relevant to the consideration of this application.

7.19 Comments on Public Consultations

No comments have been received from external consultees.

7.20 Planning obligations

Not relevant to the consideration of this application.

7.21 Expediency of enforcement action

Not relevant to the consideration of this application.

7.22 Other Issues

No other issues raised.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy

2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not relevant to the consideration of this application.

10. CONCLUSION

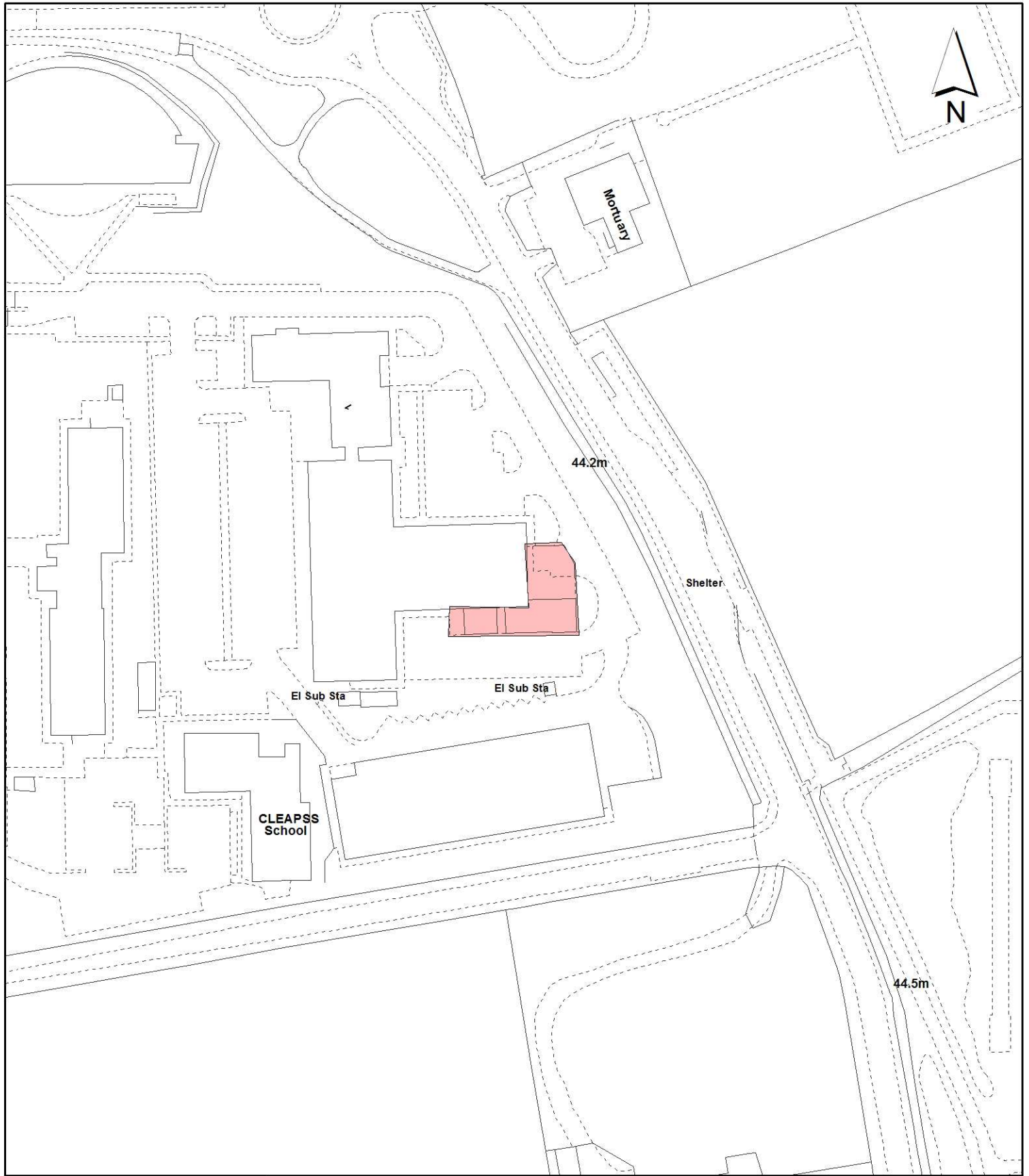
The applicant has advised that it was assumed at the time of the original application that the life span of the extension was only 10 years, however, the building is in fact designed to last as long as any other building at the campus. The actual reason for requesting a temporary 10 year consent was that this was the length of the original funding for the research. However, the funding and proposed research is no longer time limited. The retention of this building on a permanent basis is not considered to have an unacceptable impact on the Metropolitan Green Belt and would not result in any highway safety or residential amenity concerns. The application is therefore recommended for approval.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
The London Plan (2016)
Hillingdon Design and Accessibility Statement: Accessible Hillingdon
National Planning Policy Framework

Contact Officer: Nicola Taplin

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

Brunel University

LONDON BOROUGH OF HILLINGDON
Residents Services Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
532/APP/2016/4568

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address 140 RYEFIELD AVENUE HILLINGDON

Development: Change of use from retail (Use Class A1) to a mixed use comprising restaurants/hot food takeaway (Use Class A3/A5) involving installation of an extract duct to the side

LBH Ref Nos: 29498/APP/2016/3975

Drawing Nos: Design and Access Statement
Ventilation and Extraction Statement
140 RYE/FPA1 Rev. B
140 RYE/FPA2 Rev. B
140 RYE/FPA3 Rev. B
140 RYE/FPA5 Rev. B

Date Plans Received: 28/10/2016 **Date(s) of Amendment(s):** 28/10/2016

Date Application Valid: 03/11/2016

1. SUMMARY

The application relates to a change of use of an existing vacant retail unit to mixed use comprising restaurant/hot food takeaway and the installation of an extract duct to the side.

The site is within a small shopping parade within the developed area as identified in the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). Policies S6 and S7 states change of use from retail will only be granted where a sufficient choice of local shops remain. This unit is currently vacant and a survey undertaken during the site visit confirmed that if the proposed use were to be implemented, a sufficient number of essential local shops serving the catchment area would still be available.

Therefore, it is considered that the loss of this shop use would not have a negative effect on this commercial area and subject to appropriate conditions relating to hours of operation and noise control, deliveries, and waste management, the proposal would not conflict with any of the relevant Adopted policies within the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

Therefore subject to conditions the application is recommended for approval.

2. RECOMMENDATION

APPROVAL subject to the following:

1 HO1 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HO2 Accordance with approved

The development hereby permitted shall not be carried out except in complete

accordance with the details shown on the submitted plans, numbers 140 RYE/FPA1 Rev. B, 140 RYE/FPA2 Rev. B and 140 RYE/FPA3 Rev. B.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

3 N11 Control of plant/machinery noise

The rating level of noise emitted from the plant and/or machinery hereby approved shall be at least 5 dB below the existing background noise level. The noise levels shall be determined at the nearest residential property. The measurements and assessment shall be made in accordance with British Standard 4142 "Method for rating industrial noise affecting mixed residential and industrial areas".

REASON:

To safeguard the amenity of the surrounding area in accordance with Policy OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

4 N12 Air extraction system - noise and odour

No air extraction system shall be used on the premises until a scheme for the control of noise and odour emanating from the site has been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall then be fully implemented before the development is occupied/the use commences and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

REASON

To safeguard the amenity of the occupants of surrounding properties in accordance with policy OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and London Plan (2016) Policy 7.15

5 NONSC Non Standard Condition

No customers shall be present on the premises, nor shall the premises be used for the preparation or sale of food, other than between the following hours:

1100 hours and 2200 hours Mondays to Thursday
1100 hours and 2300 hours on Fridays and Saturdays and at no time on Sundays, Bank Holidays or Public Holidays.

REASON

To safeguard the residential amenity of the occupiers of nearby properties in accordance with Policy OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

6 NONSC Non Standard Condition

There shall be no deliveries to site or unloading of goods, or collection of refuse and recycling, outside the hours of 0800 and 1800, Monday to Friday, and between the hours of 0800 and 1300 on Saturdays. No deliveries shall take place on Sundays, Bank Holidays or Public Holidays.

REASON:

To safeguard the amenity of the surrounding area in accordance with policy OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

INFORMATIVES

1 152 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
S6	Change of use of shops - safeguarding the amenities of shopping areas
S7	Change of use of shops in Parades
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
AM14	New development and car parking standards.
LPP 2.15	(2016) Town Centres
LPP 4.8	(2016) Supporting a Successful and Diverse Retail Sector and related facilities and services
LPP 5.3	(2016) Sustainable design and construction
NPPF2	NPPF - Ensuring the vitality of town centres

3 159 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 12 **Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application may have to be submitted. The validity of this planning permission may be challengeable by third parties if the development results in any form of encroachment onto land outside the

applicant's control for which the appropriate Notice under Article 13 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 has not been served.

5 15 Party Walls

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

carry out work to an existing party wall;

build on the boundary with a neighbouring property;

in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Residents Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

6 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises the ground floor of an end of terrace building situated on the South-Western side of Ryefield Avenue, Hillingdon. The surrounding area falls within an unprotected shopping parade which is made up predominantly of commercial use on the ground floor and residential to the upper floors. To either side of the shopping parade, rows of two storey terraced residential units dominate the street scene.

3.2 Proposed Scheme

Planning permission is sought for a change of use from retail (Use Class A1) to a mixed use comprising restaurants/hot food takeaway (Use Class A3/A5) involving installation of an extract duct to the side. The site benefits from a large service yard consisting of two single storey outbuildings which do not form part of the application.

3.3 Relevant Planning History

29498/ADV/2016/103 140 Ryefield Avenue Hillingdon

Installation of 1 x internally illuminated fascia sign.

Decision: 29-12-2016 Approved

29498/APP/2015/1596 140 Ryefield Avenue Hillingdon

Change of use from retail (Use Class A1) to provide 1 x 2-bed flat (Use Class C3) (Prior Approval)

Decision: 30-06-2015 Refused

29498/C/97/1251 140 Ryefield Avenue Hillingdon

Change of use from Retail (Class A1) to Hot Food Takeaway (Class A3) and installation of extractor duct

Decision: 03-07-1998 Refused

Comment on Relevant Planning History

The site benefits from an extensive planning history, including recently the approval of new advertising fascia to the front elevation.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

S6 Change of use of shops - safeguarding the amenities of shopping areas

S7 Change of use of shops in Parades

OE1 Protection of the character and amenities of surrounding properties and the local

	area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
AM14	New development and car parking standards.
LPP 2.15	(2016) Town Centres
LPP 4.8	(2016) Supporting a Successful and Diverse Retail Sector and related facilities and services
LPP 5.3	(2016) Sustainable design and construction
NPPF2	NPPF - Ensuring the vitality of town centres

5. Advertisement and Site Notice

- 5.1** Advertisement Expiry Date:- Not applicable
- 5.2** Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

A total of 10 adjoining and nearby neighbouring properties were consulted via letter dated 07.11.16.

Two responses received objecting on the following grounds:

1. Too many food outlets proportionately, as well as rodents/anti social behaviour and lack of parking.
2. There is already a Chinese takeaway, Indian Takeaway and Kebab Shop in the parade.
3. Parking is already at limit with cars parked on road. In addition to being on a busy bus route is dangerous to pedestrians.
4. Another takeaway is not needed and if approved will lose the good will of the community.

Internal Consultees

Environmental Protection Unit: Raised no objections subject to conditions.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The Local Planning Authority's aim is to retain the retail function of all shopping areas to meet the needs of the area each serves. Shops grouped conveniently together assist the process of search for and comparison of goods and hence attract shoppers. As such the Local Planning Authority will exercise strict control over the loss of shops to other uses.

Policy S6 states that change of use will be granted where; a frontage of design appropriate to the surrounding area is maintained or provided; the use would be compatible with neighbouring uses and will not cause unacceptable loss of amenity to nearby residential properties; and would have no harmful effect on road safety or worsen traffic congestion.

The proposal would not involve any external alterations to the property. A number of neighbouring properties have raised concerns about the proposal having an adverse impact upon highway safety and due to the restricted parking within the area. However, given the authorised retail use of the site and the proposed limited opening hours of the cafe, it is considered that the proposal would not lead to an increased demand for parking within the vicinity and is considered not to have an adverse effect on highway safety.

Therefore, the proposal would comply with the criteria listed in Policy S6 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

Policy S7 establishes the criteria where service uses would be permitted in parades and states that change of use from A1 use will only be granted if the parade retains sufficient essential shop uses to provide a range and choice of shops appropriate to the size of the parade and to its function in the Borough, and that the surrounding residential area is not deficient in essential shop uses. The supporting text to this policy comments that the Local Planning Authority seeks to protect vulnerable parades which are particularly important for the local community and provide opportunities for the establishment of new essential shop uses in existing Class A1 premises. Therefore, as many essential shop uses as possible will be protected, and ideally there should be no less than three in smaller parades and a choice of essential shops in larger parades and in local centres.

The application property is located within a small parade of 14 units. Two of the units are currently occupied and used as takeaways (A3 use) with one in A5 use. Given that 8 A1 units would be retained if this cafe were to be established it is considered that the loss of this vacant A1 unit would not result in a loss of the retail vitality of this small shopping parade. As such the proposal is considered to comply with Policy S7 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to maintain the quality of the built environment including providing high quality urban design. Local Plan Policy BE13 states that development will not be permitted if the layout and appearance fail to harmonise with the existing street scene or other features in the area which the Local Planning Authority considers it desirable to retain or enhance.

The existing shopfront would remain, whilst it is proposed to replace the signage. These are minor alterations which would be in keeping with the commercial nature and appearance of the parade. It is considered that the location of the storage for refuse and collection would be appropriately sited to the rear of the building where they would not be readily visible from the public realm.

Due to the nature of the proposal it is considered that an extractor duct would be required. The submitted plans show the location of a flue to the side/rear of the building. Given the commercial nature of the site and the immediate area, it is considered that the principle of an extractor duct in this location would be acceptable, however a condition relating to final details of the flue is still recommended, to ensure that the final specification of the installed system is acceptable with regard to noise and odour.

Overall it is considered that the proposal would not result in harm to the visual amenity of

the site and its wider setting.

7.08 Impact on neighbours

In terms of assessing the effects of the proposal on residential amenity, the relevant factors are in respect of noise, odour and general disturbance. Given the minor nature of the alterations to the shopfront it is considered that there would be no harm to the amenity of nearby residents through loss of daylight or overbearing impact. Policy OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states permission will not be granted for uses which are likely to become detrimental to the character or amenities of surrounding properties.

The Council's Environmental Protection Unit has been consulted on the application and has raised no objection subject to the appropriate conditions requiring details of air extraction systems to control noise and odour; Noise emitted from plant or machinery being at least 5 dB below the existing background noise level; Operating hours restrictions and a condition requiring the restriction of deliveries and refuse collection.

The main impact of the proposed use is likely to be on the residential properties immediately above the application and adjoining site. However, given the existence of similar uses within the parade, operating to similar hours to that recommended for this application, it is considered that the impact on adjoining residential uses, in terms of noise and disturbance would be of an acceptable level.

Subject to the imposition of conditions the proposal accords with Policies OE1, OE3 and OE5 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

There is no off-street car parking for this site, however, there is limited on-street parking available. It is considered that the traffic generation between the A1 and A3 uses would not be significantly different. The proposal would therefore comply with Policies AM7 and AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.11 Urban design, access and security

Not applicable to this application.

7.12 Disabled access

Not applicable to this application.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Not applicable to this application.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Discussed within Impact on Neighbours section.

7.19 Comments on Public Consultations

Issues relating to the use, parking and traffic have been addressed within the body of the report and it is not considered that the proposal would result in any increase in anti-social activity.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should

consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

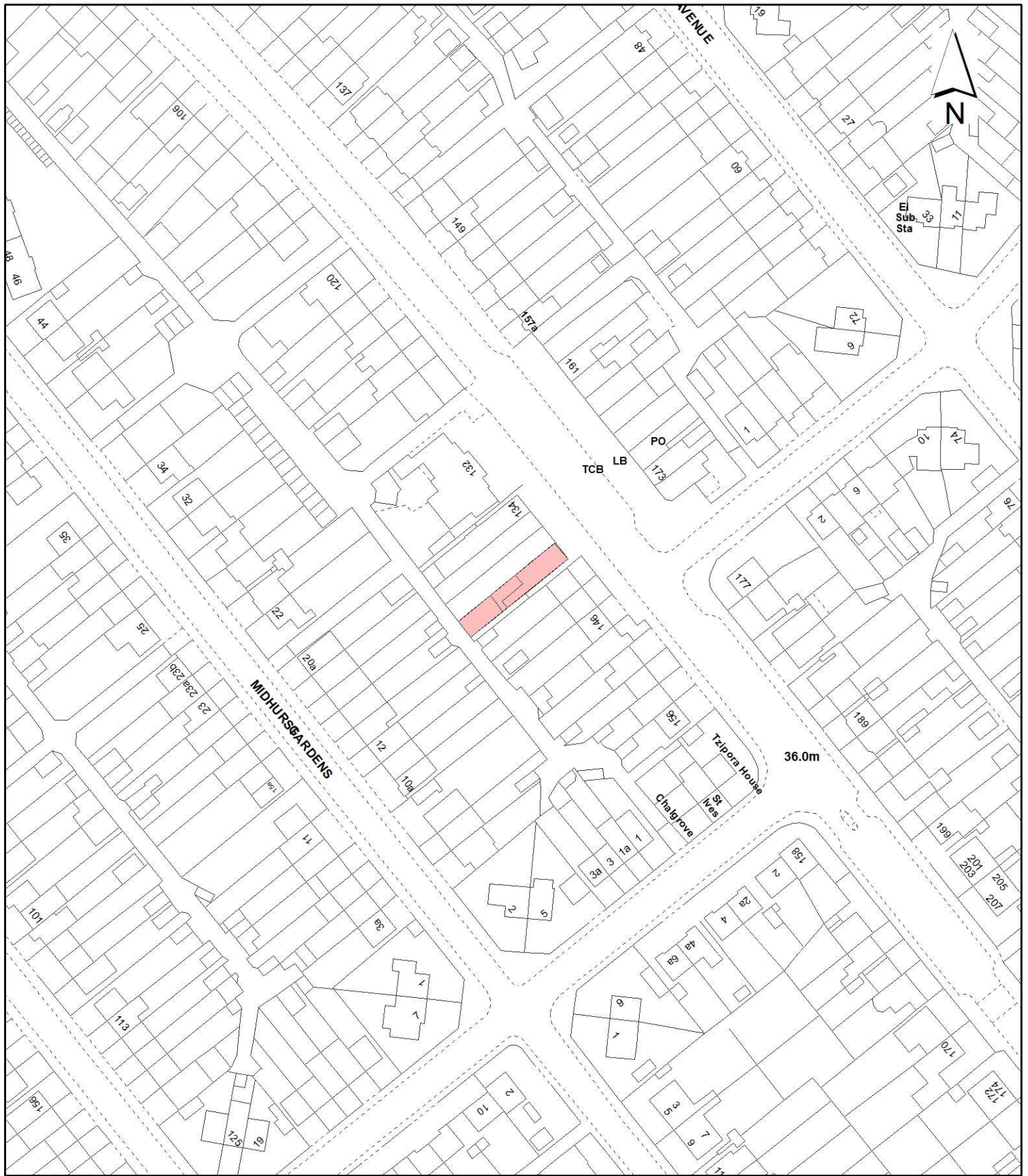
This application relates for change of use of the existing A1 Retail unit to an A3/A5 (Restaurants/Hot Food Takeaway) involving installation of extraction duct to rear. There are no external changes proposed other than the installation of an extraction flue. The application site is located within a local parade of shops and comprises a vacant unit. The proposed use is considered to not result in any adverse impact to highway safety. Furthermore, it is noted that there is still a good choice of A1 retail units within this commercial area and the proposed use would still provide a local service. Therefore, subject to appropriate safeguarding conditions, the proposal would not result in any adverse impact and is therefore recommended for approval.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
The London Plan (2016)

Contact Officer: Naim Poptani

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.
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Site Address:

140 Ryefield Avenue

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
29498/APP/2016/3975

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address GRANGE HOUSE 9 GRANGE ROAD HAYES

Development: Change of use from dwellinghouse (Use Class C3) to a 12-person House of Multiple Occupation (Sui Generis) with alterations to front and internally

LBH Ref Nos: 1489/APP/2016/4156

Drawing Nos: P-9 GR-03
P-9 GR-04 Rev. B
P-9 GR-01 Rev. A
P-9 GR-02

Date Plans Received: 15/11/2016 **Date(s) of Amendment(s):**

Date Application Valid: 13/12/2016

1. SUMMARY

Full planning permission is sought for the change of use from Use Class C3 (Dwellinghouse) to sui generis to create a 7 bed, 12 person HMO with alterations to front and internally. The site requires planning permission as the number of occupants proposed, exceeds the maximum number of 6 people allowed under permitted development for the conversion of residential properties to houses in Multiple Occupation.

The internal layout would consist of 2 double bedrooms and 1 single bedroom including one en-suite, a kitchen, dining room, sitting room and a shower room and WC at ground floor and 4 en-suite bedrooms at first floor level. The site already benefits from at least four off road parking spaces.

2. RECOMMENDATION

APPROVAL subject to the following:

1 RES4 **Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers P-9 GR-04 B and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

2 NONSC **Non Standard Condition**

Within 1 month of the date of this decision, a Site Supervision Management Plan shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the approved scheme shall be implemented prior to the use hereby permitted being commenced, and maintained in full compliance with the approved measures.

REASON: To safeguard the amenity of the occupants of surrounding properties in accordance with Policy OE1 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

3 NONSC Non Standard Condition

Within 1 month of the date of this decision, a landscape scheme shall be submitted to and approved in writing by the Local Planning Authority by the Local Planning Authority. The scheme shall include:

2.a Refuse Storage

2.b Cycle Storage

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will provide adequate facilities in compliance with policies AM7 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.17 (refuse storage) of the London Plan (2016).

4 NONSC Non Standard Condition

Within 1 month of the date of this decision, a revised kitchen layout shall be submitted to and approved in writing by the Local Planning Authority by the Local Planning Authority. Thereafter, the approved layout shall be implemented prior to the use hereby permitted being commenced, and maintained in full compliance with the approved measures.

REASON

To safeguard the amenity of the current and future occupants of the application property in accordance with Policy H7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Hillingdon HMO Amenity Standards 2015.

5 MDR5 Multiple Occupation/Shared Facilities

The property shall only be used on the basis of multiple occupation with shared facilities and no more than 7 letting bedrooms as indicated on the plans hereby approved and shall not be used at any time as self-contained units. Not more than 12 persons shall reside at the premises at any time.

REASON

In order to prevent the establishment of self-contained units in view of the limited provision of car parking and to protect the amenity of the area in accordance with Policy H7 of the Hillingdon Unitary Development Plan.

6 H7 Parking Arrangements (Residential)

The parking areas (including where appropriate, the marking out of parking spaces), shall be constructed, designated and allocated for the sole use of the occupants prior to the occupation of the development and thereafter be permanently retained and used for no other purpose.

REASON

To ensure that an appropriate level of car parking provision is provided on site in accordance with Policy AM14 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 6 of the London Plan (2016).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant

planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE4 New development within or on the fringes of conservation areas
- OE1 Protection of the character and amenities of surrounding properties and the local area
- AM7 Consideration of traffic generated by proposed developments.
- AM14 New development and car parking standards.
- H7 Conversion of residential properties into a number of units
- LPP 3.3 (2016) Increasing housing supply
- LPP 3.8 (2016) Housing Choice
- LPP 3.9 (2016) Mixed and Balanced Communities

3 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 I47 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises of a large semi-detached dwelling situated at the bottom of Grange Road. The house is set well back from the main road, and benefits from a number of previous extensions to the side and rear, as well as retaining at least four off road parking spaces to the front and an extensive rear garden.

The property falls within the Hayes Village Conservation Area with a number of properties that are similar in size and form. A row of semi-detached properties can be found to the rear of the site, with a row of terraced blocks to the South, and faces towards the open fields of Beck Theatre.

3.2 Proposed Scheme

Planning permission is sought for the change of use from dwellinghouse (Use Class C3) to a 7-bed 12 person House of Multiple Occupation (Sui Generis) with alterations to front and internally. The front alteration would consist of a new window to bedroom 2, and internal alterations to accommodate 7 bedrooms, a kitchen, dining room, sitting room, shower room, and utility room. The site would benefit from at least 4 off road parking spaces.

3.3 Relevant Planning History

1489/APP/2001/2334 9 Grange Road Hayes

ERECTION OF A REPLACEMENT SIDE GARAGE WITH FIRST FLOOR EXTENSION ABOVE
(INVOLVING PART DEMOLITION OF EXISTING SIDE GARAGE)

Decision: 28-02-2002 Approved

1489/APP/2015/3993 Grange House,9 Grange Road Hayes

Change of use from Use Class C2 (Residential Institutions) to Use Class C3 (Dwellinghouses)

Decision: 11-03-2016 Approved

1489/APP/2016/2463 Grange House,9 Grange Road Hayes

Change of use from dwellinghouse (Use Class C3) to a 7-bed House of Multiple Occupation (Sui Generis) with alterations to front and internally

Decision: 13-10-2016 Approved

Comment on Relevant Planning History

1489/APP/2016/2463: Change of use from dwellinghouse (Use Class C3) to a 7-bed House of Multiple Occupation (Sui Generis) with alterations to front and internally - Granted

1489/APP/2015/3993: Change of use from Use Class C2 (Residential Institutions) to Use Class C3 (Dwellinghouses) - Granted

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE4 New development within or on the fringes of conservation areas

OE1 Protection of the character and amenities of surrounding properties and the local area

- AM7 Consideration of traffic generated by proposed developments.
- AM14 New development and car parking standards.
- H7 Conversion of residential properties into a number of units
- LPP 3.3 (2016) Increasing housing supply
- LPP 3.8 (2016) Housing Choice
- LPP 3.9 (2016) Mixed and Balanced Communities

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **1st February 2017**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

A total of 6 adjoining and nearby neighbouring properties including the Hayes Village Conservation Area Panel were consulted via letter dated 14.12.16. A site notice was also displayed adjacent to the premises on 19.12.16.

Hayes Village Conservation Area Advisory Panel:

Do not feel 6 spaces is sufficient for 12 people, and although off street parking is not an issue in Grange Road, would alter the appearance of the neighbourhood.

Officer Comment: The car parking standards set out within Annex 1 of the Hillingdon Local Plan Part Two Saved UDP Policies seeks a maximum of 1 car parking space per 2 habitable bedrooms.

Ward Councillor: Requests that the application is reported to the Planning Committee.

Internal Consultees

Highways Officer: There is already permission at the site for a 7 bed HMO. There is sufficient car parking spaces at the site for 4 cars providing bays marked out. There is no cycle storage which should be requested via condition.

Housing Surveyor: No objection subject to following - 2 x 240L Refuse Bins and HMO Management Plan in accordance with HMO SPG.

Environmental Protection Unit: No objection subject to standard condition.

Conservation and Design: Almost all alterations are internal and would not impinge upon character and appearance of Conservation Area.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy H7 seeks to safeguard existing housing in the Borough, and in this respect it should be noted the Council does not consider the change of a dwellinghouse to a HMO to represent a loss of residential accommodation. This type of accommodation does not fall within a specified class of the 1987 use classes order (as amended) but constitutes a 'sui generis' use.

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application site falls within the boundaries of the Hayes Village Conservation Area.

Policy BE4 seeks to ensure new development within the conservation area will either enhance or preserve those features which contribute to their special architectural and visual qualities. The proposal comprises of mainly internal alterations which would fail to impact the visual quality of the conservation area with the insertion of a new window to the front elevation to provide a satisfactory outlook to bedroom 2. The modest alteration is considered not to adversely impact the character and appearance of the property or the street scene, and as such would preserve the visual amenities of the conservation area, in accordance with Policy BE4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). Policy BE4 reflects the relevant legal duties.

Paragraph 4.2 of the 'Houses in Multiple Occupation and other non-self contained housing' Supplementary Planning Guidance to the Hillingdon Unitary Development Plan August 2004 states the Council will seek to avoid an over-concentration of HMO and other conversions in roads which are predominantly residential in character. Although an individual conversion may not have any significant impact, the cumulative impact of conversions can be significant. In addition to visible alterations and addition such as hardstanding, additional refuse bins, more intensive use which can all lead to unacceptable levels of noise and disturbance. As such conversions in conservation areas will not be given where more than 5% of residential properties in the Conservation Area have already been converted. In addition permission will also not be given for conversions where it would result in 2 or more consecutive dwellings being converted.

Based on the Council's database of HMO's from private sector housing and council tax records there is only 1 other registered HMO within the Hayes Village Conservation Area. Accordingly, including the application site out of approximately 300 properties the total development would total less than 1% of properties registered as HMO's and is therefore considered acceptable in principle subject to providing an acceptable quality of accommodation.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policies BE13 and BE19 require all new development to harmonise with the existing street scene and to complement or improve the amenity and character of the area. The only external alterations involves the insertion of a new window to the front elevation of the host dwelling to serve bedroom 2 which would increase the current level of residential amenity for the occupiers by ensuring a satisfactory outlook.

Policy OE1 states permission will not normally be granted for uses and structures which are, or are likely to become, detrimental to the character or amenities of surrounding properties or the area generally due to their siting or appearance, the storage or display of items, traffic generation and congestion, and noise and vibration emissions. In accordance with this policy and as the proposal is for the conversion from a single dwelling to a HMO, it would be considered prudent to impose a condition which requires details of management and maintenance for the up keep of the house and garden. Although properties used by single families are equally capable of becoming run down, many landlords do not live on-

site and so physical problems with converted properties can go undetected for some time without proper management supervision. The transient nature of many converted properties, because of the relatively short duration of tenancies, also increases the need for the effective management and maintenance of properties. Regardless of the interior condition of a property, outwardly visible signs of poor management and maintenance (such as unkempt gardens) tend to have a detrimental effect on the overall street scene and level of residential amenity.

Effective management control, whether it be carried out by housing associations, managing agents or applicants themselves, is crucial to maintaining a satisfactory environment for tenants and for achieving a good tenant/neighbour relationship. Details of management and maintenance will therefore be applied through a planning condition and will be expected to include arrangements for:

- Keeping front and rear gardens free of refuse and unsightly household items;
- Mowing of grassed areas;
- Repairing of broken fencing, gates and other enclosures;
- Repairing of damaged or broken external facades of building(s).

Subject to the management and supervision condition, the proposal is considered acceptable in accordance with Policies BE13, BE15, BE19 and OE1 of the Hillingdon Local Plan, Part Two, Saved Policies (November 2012).

7.08 Impact on neighbours

The potential impacts of the additional number of residents at Grange House upon the adjoining neighbours in terms of the additional noise, greater comings and goings to the property, vehicle movements that would be the case with seven persons in shared occupation rather than a single family dwelling relate primarily to social and behavioural issues, which for private dwellings cannot be controlled under planning legislation and are not necessarily any more likely to occur in a shared household than in a single family dwelling house. The application site, which benefits from 7 bedrooms would be unlikely to give rise to such a significant increase in the likelihood of disturbance then if the property were to be used as a single dwelling, such that a refusal only on this basis could be justified.

7.09 Living conditions for future occupiers

In accordance with the Housing Surveyors recommendation, a new kitchen layout should be implemented to meet the minimum standards within the amended Hillingdon HMO SPG 2004 where shared kitchen facilities must be of a such layout and size and equipped with such facilities so as to allow those sharing the facilities to store, prepare and cook food. This can be achieved by way of condition as requested by the Principal Housing Surveyor, and should also be noted that a license will only be granted on the basis that the adequate provisions are made within the kitchen.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy AM14 of the Hillingdon Local Plan Part Two Saved UDP Policies and the Hillingdon HMO SPG seeks a maximum of 1 car parking space per 2 habitable rooms excluding those used for communal purposes.

The application site would be occupied as a 7 bed HMO with an off road parking area to the front capable of accommodating at least 4 cars to comply with the HMO SPG. Furthermore as previously quoted by the Highways department, there is little on street parking stress due to no parking restrictions and as majority of the properties within the surrounding area benefit from off road parking. It is therefore considered the use of the site as a HMO would not result in an increased demand for on street parking. Details regarding cycle storage will

be sought via condition. It is considered as the site benefits from a side access leading to a substantial size rear garden this would not be difficult to accommodate.

As such the proposal is considered to comply with Policies AM7 and AM14 of the Hillingdon Local Plan: Part Two -Saved UDP Policies (November 2012) and the Councils SPG to Hillingdon UDP Houses in Multiple Occupancy and other Non-Self Contained Housing.

7.11 Urban design, access and security

With regard to private amenity space, the Council require a minimum of 15m² of private usable amenity space per habitable room (excluding those used for communal living purposes). Given that the rear garden measures approximately 420 square metres it is considered that sufficient amenity space would be available to meet these requirements.

With regard to the residential living conditions proposed, the Hillingdon HMO SPG for detached housing requires at least one ground floor habitable room over 10m² other than a kitchen, for communal living purposes. The house has adequate facilities including a dining room, a sitting area and a kitchen and a WC as set out in the Council's Supplementary Planning Guidance 'Houses in Multiple Occupation and other non-self contained housing'(2004) and thus an adequate standard of accommodation, layout and amenity space is provided thus ensuring compliance with Policies H7 and BE23 of the Hillingdon Local Plan, Part Two, Saved Policies (November 2012).

7.12 Disabled access

Not applicable to this application.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Policy BE38 of the Local Plan seeks to retain and utilise topographical and landscape features of merit and the provision of new landscaping and planing wherever possible.

There are no trees or significant landscape features on the site with the hardstanding area to the front of the being an existing feature.

Accordingly, for these reasons, the proposal is considered to comply with the objectives of Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Noise issues have been covered above. No issues of air quality arise.

7.19 Comments on Public Consultations

Discussed within main body of the report.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

Not applicable to this application.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

Planning Permission is sought for the change of use from a single dwelling (Use Class C3) to a Sui Generis use to form a 7 bed, 12 person House in Multiple Occupation (HMO).

The proposal involves the insertion of a window to the front elevation to serve bedroom 2, and internal alterations to create a 7 bed HMO with 4 being en-suite, a kitchen, dining room, sitting area and off road parking for at least 4 cars.

The proposal is not considered to have a greater impact upon the adjoining neighbours and character of the original property and conservation area, than the existing use and with sufficient off road car parking and amenity area, the application is considered acceptable.

11. Reference Documents

Hillingdon Local Plan: Part One (November 2012)

Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

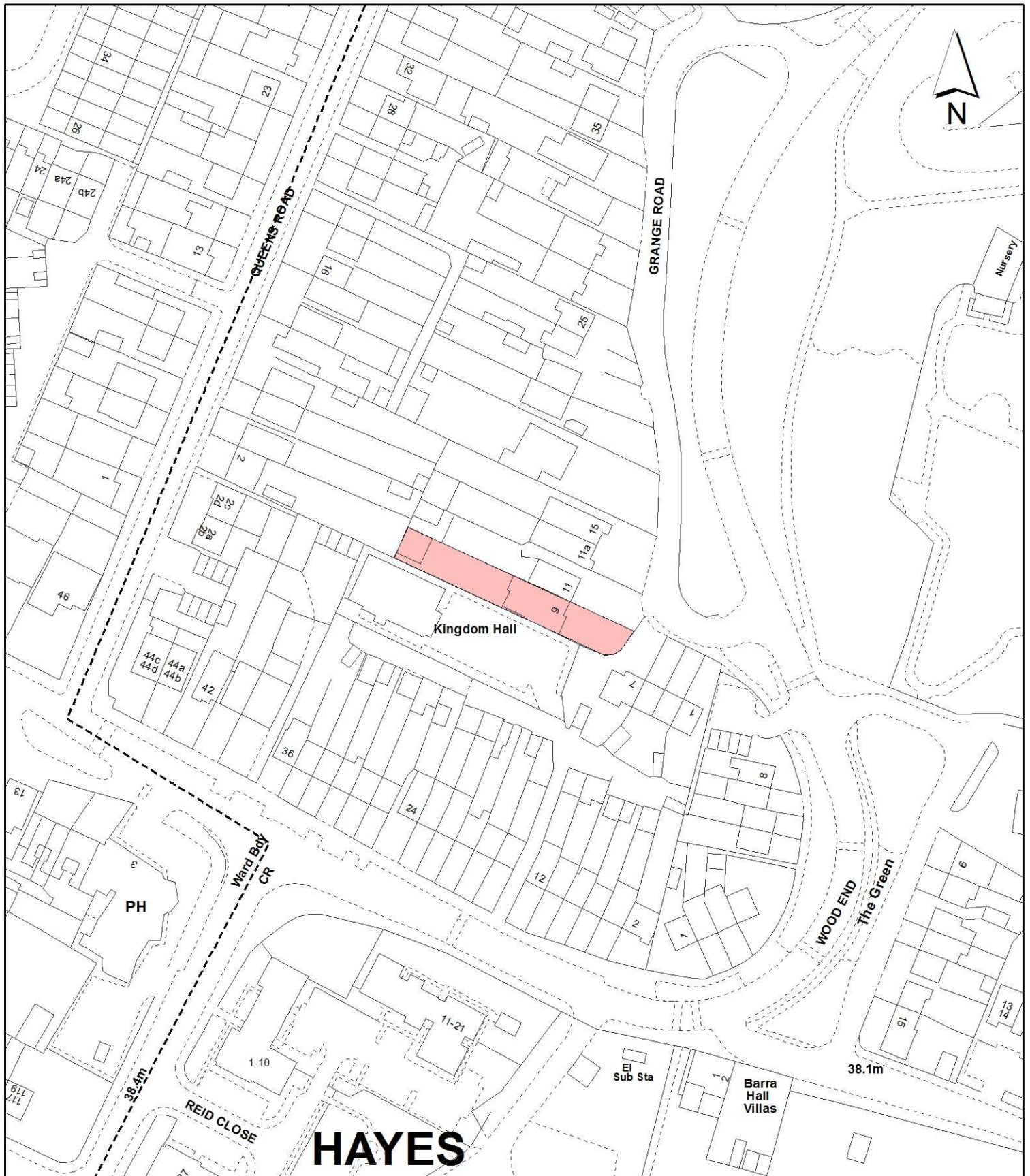
London Plan 2016

Accessible Hillingdon SPD

Hillingdon Supplementary Planning Guidance on Houses in Multiple Occupation and other non-self contained housing (2004).

Contact Officer: Naim Poptani

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Grange House
 9 Grange Road**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
1489/APP/2016/4156

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address	6 HAMILTON ROAD COWLEY UXBRIDGE	
Development:	Two storey side extension, single storey front extension, single storey rear extension and conversion of roof space to habitable use to include a rear dormer	
LBH Ref Nos:	5670/APP/2017/42	
Drawing Nos:	MSB64-04A Location Plan (1:1250) MSB64-05A MSB64-03A MSB64-01 MSB64-02A	
Date Plans Received:	04/01/2017	Date(s) of Amendment(s):
Date Application Valid:	04/01/2017	

1. CONSIDERATIONS

1.1 Site and Locality

The application site comprises of a two storey detached dwelling situated on the Western side of Hamilton Road, Cowley Uxbridge. The property is finished in a pebbledash render and characterised by a hipped roof and a two storey bay window and a carport to the Northern flank elevation. The house is set back to accommodate a front garden which consists of partial hardstanding and shingle, and is enclosed by a low level brick wall.

The surrounding area is residential in character and falls within the boundaries of the Orchard Drive, Hamilton Road, Clayton Way Area of Special Local Character. The street scene comprises of a row of detached and semi-detached dwellings set back along the adjacent carriageway to contain spacious front gardens and off road parking and positioned in a linear formation.

1.2 Proposed Scheme

Householder consent is sought for a two storey side extension, single storey front extension, single storey rear extension and conversion of roofspace to habitable use to include rear dormer.

The proposed two storey side extension would measure level with the principal elevation and project the full depth of the host dwelling at first floor level with a hipped roof set level with the height of the main ridge. The side extension would measure a maximum of 12.5 m in depth at ground floor and would protrude beyond the original rear wall and wrap across its entire width with a maximum depth of 4 m and would be characterised with a 3.8 m high mono-pitched roof with a lowered flat section.

The single storey front extension would extend flush with the bay window, would measure 6.4 m in width and would be characterised by a mono-pitched roof measuring 3.8 m high.

The rear dormer would be situated central of the rear roof slope and would measure 1.1 m high and 2.4 m in width.

The proposed extensions would be finished in materials to match the existing.

1.3 Relevant Planning History

5670/APP/2016/2112 6 Hamilton Road Cowley Uxbridge

Two storey side extension, single storey front extension, single storey rear extension and conversion of roof space to habitable use to include a rear dormer

Decision Date: 12-09-2016 **Withdrawn** **Appeal:**

Comment on Planning History

The application site benefits from no planning history.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

A total of 5 adjoining and neighbouring properties were consulted via letter dated 09.01.17 including a site notice displayed outside the premises on 10.01.17.

A total of 9 representations received which are summarised below:

1. The proposed extensions are overbearing, are not compatible in size, scale and character and do not harmonise with the character and appearance of the original property and the visual amenities of the street or the Area of Special Local Character.
2. Exceeds the original building line, and therefore fails to be subservient.
3. Would no longer benefit from access to maintain fence and guttering.
4. The plans indicate a total of 6 toilets with no WC logo, and therefore misleading.
5. Insufficient parking if this property be returned to HMO.
6. The proposed extensions do not comply with the Hillingdon SPG Dec 2008.
7. No 45 degree line provided for adjoining neighbours right to light.
8. A condition should be attached ensuring house is not converted into HMO.
9. The proposed extensions would be far too close to the neighbouring property and will spoil the line of buildings along Hamilton Road. Black windows out of keeping.
10. Liable to flooding.
11. Not informed regarding resubmission.
12. Will result in overlooking and loss of privacy.
13. The large windows and doors will cause glare.
14. There is a large fir tree within the garden contrary to the application form, and will require pruning for works to go ahead.

OFFICER COMMENTS: With respect to the use of the application site as a House in Multiple occupancy, this is not permitted as the site falls within the Uxbridge South and Brunel Wards where an Article 4 direction has removed permitted development rights for 3-6 bed HMO's and thus requires separate planning permission. The Enforcement Team investigated the claims, and it was found the site is not currently in use as a HMO. The

planning objections raised will be discussed within the main body of the report.

Ward Councillor: Requests that the application be determined by the Planning Committee.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

BE5 New development within areas of special local character

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

AM14 New development and car parking standards.

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

LPP 3.5 (2016) Quality and design of housing developments

5. MAIN PLANNING ISSUES

The main planning issues are the effect of the development on the character and appearance of the original building, the street scene and the level of impact on the residential amenity and light levels of the adjoining neighbours.

Policy BE15 of the Hillingdon Local Plan Part two (Saved UDP Policies) requires alterations and extensions to existing buildings to harmonise with the scale, form and architectural composition of the original building. Policy BE13 requires the layout and appearance of extensions to harmonise with the existing street scene and Policy BE19 ensures any new development complements or improves the amenity and character of the area. Policy BE22 seeks to preserve the visually open gaps between properties to prevent forming a terraced appearance.

Policy BE5, within Areas of Special Local Character new development should harmonise with the materials, design features, architectural style and building heights predominant in the area. Extensions should respect the symmetry of the original buildings.

Section 8.0 Front Extensions, Porches and Bay Windows states front extensions are eye catching and change the face of the building. They do not only affect the character and appearance of the building itself but also the street scene. Porches should appear subordinate in scale and form, must not extend past the line of any bay window and in the case of being combined with a garage conversion they may be integrated with a forward extension of the garage not exceeding 1.0 m.

The Council's Adopted SPD the Hillingdon Design and Accessibility Statement: Residential Extensions (December 2008) or HDAS, contains design guidance (below) for all types of extensions which should appear subordinate in scale to the original building.

Paragraph 5.0: Side and first floor side extensions Two Storey: states extensions at first floor provide additional bedrooms but have the potential to have a significant impact on neighbouring properties and the character of the street. The Council requires all residential extensions of two or more storeys in height to be set back a minimum of 1m from the side boundary for the full height, to prevent forming a terraced appearance. There is no requirement for a set back or set down to detached dwellings as they would integrate with the existing house, and the roof should follow that of the existing roof. The width and height of the extension should be less than that of the original house, preferably in between half and two thirds depending on the site.

Paragraph 3.0: Single Storey Rear Extensions: states a range of roofs will be acceptable, however they must not exceed 3.4 m in height to prevent obstructing light from any adjoining neighbours property. Extensions should appear subordinate to the original house and as such an extension up to 4m deep is acceptable on detached houses.

The proposed two storey side extension would be constructed flush with the principal elevation of the host dwelling and would measure 6.9 m in depth to measure flush with the rear wall, would measure 4.1m in width and would be characterised by a hipped roof set level with the main ridge to form a crown roof. The proposed extension would also retain a separation distance of 300mm from the side boundary to the front elevation and as such would result in the closing of an important visual gap which is characteristic of this Area of Special Local Character (ASLC). The proposed width of 4.1m would not exceed two thirds of the original width of the main dwelling. However, by reason of its size, scale, bulk and roof form would be an overly dominant addition which would detract from the architectural composition of the original dwelling, and by reason of its siting to the flank elevation would detract from the character and appearance of the street scene and the Area of Special Local Character.

The proposed single storey rear extension would measure 4 m in depth, would extend the full width of the host dwelling including the proposed two storey side extension and would be characterised by a mono pitched roof with a flat tip to measure a maximum height of 3.7m. The proposed extension would be erected flush with the existing building lines and would retain a small gap between the upper floor windows to appear subordinate, and it is therefore considered by reason of its siting to the rear of the dwelling would not have an adverse impact upon the original dwelling and the street scene. Bearing in mind the size of the rear garden, the proposed extension would not appear cramped.

The proposed single storey front extension would comprise of a porch which would be integrated with the proposed two storey side extension to form a garage entrance. The front extension would measure flush with the bay window feature and Northern building line, and by reason of its size, scale and height would be a proportionate addition to the principal

elevation of the host dwelling.

Paragraph 7.0 of the HDAS SPD states on detached houses, set ins should be increased to 1m. Dormers should relate well to the proportions, roof forms and massing of the existing house as it can have an impact on the residential area. The proposed dormer would be set back a maximum of 500mm from the ridge and eaves and although would be set in from the flank elevations by a sufficient margin, the proposed height of the dormer would result in the rear roof slope being dominated by an overly large addition which would be unduly prominent from the public domain and as such would result in an adverse impact upon the visual amenities of the street scene and the Area of Special Local Character.

The proposed development is considered to detract from the character and appearance of the original dwelling and the visual amenities of the Area of Special Local Character and as such would fail to accord with Policies BE5, BE13, BE15, BE19 and BE22 of the Hillingdon Local Plan Part Two: Saved UDP Policies (November 2012) and the HDAS SPD: Residential Extensions (December 2008).

Policy BE20 requires any new development to be laid out so as to protect the daylight and sunlight levels of existing houses. Policy BE21 requires new extensions by virtue of their siting, bulk and proximity should not result in a significant loss of residential amenity to neighbouring properties and Policy BE24 should protect the privacy of the occupiers and their neighbours.

The application site benefits from adjoining neighbours to either side at Nos. 5 and 7 Hamilton Road. The proposed two storey side extension would be erected to the northern flank elevation and as such would not be a visible addition when viewed from the outlook of No.7. The rear dormer would be set centrally within the rear roof slope to face their own rear garden and would retain a separation distance of 32m from the rear wall of the occupier to the rear at No.12 Clayton Way.

The single storey rear extension would measure 4m in depth, however the height of the ridge would exceed the recommended limit of 3.4m by 300mm. However, due to the sufficient separation distance between the two properties, the proposed single storey extension is considered not to result in a detrimental impact upon the residential amenities and light levels of the adjoining neighbours. All windows would face the rear garden and would not result in a loss of privacy and overlooking.

The adjoining neighbour to the opposite flank at No. 5 benefits from a number of windows along its Southern flank elevation. The majority of the windows are obscure glazed, however the ground floor flank window is not and serves a kitchen. The kitchen does benefit from a dual aspect with an additional window to the rear elevation, however by reason of its modest size and limited level of outlook, this would be considered as the secondary window. The flank window would therefore be considered as the primary source of outlook and light, which is further backed up by the internal layout, with the worktop and sink positioned on the flank wall. It is therefore considered the proposed two storey side extension, by reason of its size, scale, and proximity to the shared boundary would have a detrimental impact upon the residential amenities of the neighbouring occupier at No. 5 Hamilton Road by reason of appearing over-dominant, over-bearing, over-shadowing and resulting in a loss of outlook and light. The proposed single storey rear extension by reason of its single storey composition, depth and separation distance from the adjoining neighbour would not result in a loss of outlook and light.

The development would therefore fail to accord with Policies BE19, BE20 and BE21 of the Hillingdon Local Plan Part Two: Saved UDP Policies (November 2012) and the HDAS SPD: Residential Extensions (December 2008).

Policy BE23 seeks to ensure all new residential development and extensions provide or maintain external amenity space which is sufficient to protect the amenity of the occupants of the proposed building in terms of its shape and siting. This will be assessed in accordance with the HDAS SPD: Residential Extensions. The HDAS: SPD states a 4 bedroom dwelling must retain a minimum of 100sq m of rear usable amenity to be considered sufficient to protect the residential amenities of the occupants of the host dwelling. The proposal would retain approximately 150sq m of rear usable amenity area which is usable in terms of its size and shape, and as such would comply with Policy BE23 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the HDAS SPD: Residential Extensions (December 2008).

The application site would retain two off road parking spaces to the front of the property in addition to a single parking space within the new garage, and therefore would accord with Policy AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

The application is recommended for refusal.

6. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposed two storey side extension, by reason of its size, scale, bulk and proximity to the side boundary, would result in a closing of the visually open gap between it and the neighbouring property, 5 Hamilton Road, giving rise to a cramped form of development, which would be detrimental to the visual amenities of the street scene and the wider Orchard Drive, Hamilton Road, Clayton Way Area of Special Local Character. The proposal is therefore contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE5, BE13, BE15, BE19 and BE22 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

2 NON2 Non Standard reason for refusal

The proposed two storey side extension, by reason of size, scale, bulk and roof form would result in an incongruous addition which would be detrimental to the architectural composition of the host dwelling and the wider Orchard Drive, Hamilton Road, Clayton Way Area of Special Local Character. The proposal would therefore be contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE5, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

3 NON2 Non Standard reason for refusal

The proposed two storey side extension, by virtue of its size, scale, bulk and proximity, would be detrimental to the amenities of the adjoining occupier at 5 Hamilton Road by reason of overdominance, overshadowing, visual intrusion, loss of light and loss of

outlook. Therefore the proposal would be contrary to Policies BE19, BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the Council's adopted Supplementary Planning Document HDAS: Residential Extensions.

4 NON2 Non Standard reason for refusal

The proposed rear dormer, by reason of its height and bulk would result in an over-dominant and visually intrusive addition that would be harmful to the character and appearance of the host dwelling and this Area of Special Local Character. The proposal would therefore be contrary to Policies BE5, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the Councils Supplementary Planning Documents: HDAS Residential Extensions (December 2008).

INFORMATIVES

- 1 On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.
- 2 In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. The Council's supports pre-application discussions with no record of having being taken, and although solutions to overcome the issues raised were suggested to the agent these were not followed up with amended plans, and therefore the application is recommended for refusal.

Standard Informatives

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.HE1 (2012) Heritage

Part 2 Policies:

BE5	New development within areas of special local character
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
AM14	New development and car parking standards.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
LPP 3.5	(2016) Quality and design of housing developments

Contact Officer: Naim Poptani

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

6 Hamilton Road

LONDON BOROUGH OF HILLINGDON
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
5670/APP/2017/42

Scale:
1:1,250

Planning Committee:
Central & South
 Page 89

Date:
March 2017



HILLINGDON
 LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address 48 WALLINGFORD ROAD UXBRIDGE

Development: Erection of 2 detached buildings to accommodate a storage depot and ancillary office (Use class B8)

LBH Ref Nos: 71488/APP/2015/4721

Drawing Nos: A1/3946/PLA/1.00/E
A1/3946/PLA/1.01/A
A1/3946/PLA/1.02
Environmental Site Assessment

Date Plans Received: 23/12/2015 **Date(s) of Amendment(s):**

Date Application Valid: 15/01/2016

2. **RECOMMENDATION**

That delegated powers be given to the Director of Planning and Community Services to grant planning permission, subject to the following:

That delegated powers be given to the Head of Planning and Enforcement to grant planning permission, subject to the following:

A) That the Council enter into a legal agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or other appropriate legislation to secure the following:

- 1. £20,000 Highways Work Contribution**
- 2. Project Management & Monitoring Fee: equal to 5% of total cash contributions**

B) That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the S106 Agreement and any abortive work as a result of the agreement not being completed.

C) That officers be authorised to negotiate and agree the detailed terms of the proposed agreement and conditions of approval.

D) That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised before the 30th April 2017, or any other period deemed appropriate that delegated authority be given to the Head of Planning and Enforcement to refuse the application for the following reason:

'The applicant has failed to provide a commensurate package of planning benefits to maximise the transport, environmental and social benefits, namely highway improvements and project management of the scheme to the community. The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).'

E) That subject to the above, the application be deferred for determination by the

Head of Planning and Enforcement under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.

F) That should the application be approved, the applicant pay the required levy on the additional floorspace actually created.

G) That if the application is approved, the following conditions be attached:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers A1/3946/PLA/1.00/B, A1/3946/PLA/1.01/A and A1/3946/PLA/1.02.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

3 D12 Restrictions on Enlargement of Industrial and Warehouse

Notwithstanding the provisions of Part 7, Schedule 2 of the Town and Country (General Permitted Development) Order 2015, the building(s) shall not be extended or have mezzanine floor/s installed without the prior written consent of the Local Planning Authority.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

4 A39 Contaminated Land

Before any part of this development is commenced, a site investigation to assess contamination levels shall be carried out and a scheme for removing or rendering innocuous all contaminants from the site shall be submitted to and approved by the Local Planning Authority. All works which form part of this scheme shall be completed before any part of the development is occupied (unless otherwise agreed in writing by the Local Planning Authority).

Any imported material shall be tested to the satisfaction of the Council.

REASON

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy OE11 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

5 NONSC Non Standard Condition

Prior to commencement, a scheme for the provision of sustainable water management shall be submitted to, and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate how it:

a) Manages Water The scheme shall demonstrate ways of controlling the surface water on site by providing information on:

a) Suds features:

- i. incorporating sustainable urban drainage in accordance with the hierarchy set out in Policy 5.15 of the London Plan. Where the proposal does not utilise the most sustainable solution, justification must be provided,
- ii. calculations showing storm period and intensity and volume of storage required to control surface water and size of features to control that volume to Greenfield run off rates at a variety of return periods including 1 in 1 year, 1 in 30, 1 in 100, and 1 in 100 plus Climate change,
- iii. overland flooding should be mapped, both designed and exceedance routes above the 100, plus climate change, including flow paths depths and velocities identified as well as any hazards, (safe access and egress must be demonstrated).

b) Receptors

- i. Capacity demonstrated for Thames Water foul and surface water network, and provide confirmation of any upgrade work required having been implemented and receiving watercourse as appropriate.
- ii. Where infiltration techniques (soakway) or a basement are proposed a site investigation must be provided to establish the level of groundwater on the site, and to demonstrate the suitability of infiltration techniques proposed on the site. (This should be undertaken at the appropriate time of year as groundwater levels fluctuate).
- iii. Where groundwater is found within the site and a basement is proposed suitable mitigation methods must be provided to ensure the risk to others is not increased.
- iv. identify vulnerable receptors, ie WFD status and prevent pollution of the receiving groundwater and/or surface waters through appropriate methods;

d) Minimise water use. The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- i. incorporate water saving measures and equipment.
- ii. provide details of water collection facilities to capture excess rainwater;
- iii. provide details of how rain and grey water will be recycled and reused in the development.

e) Long Term Management and Maintenance of the drainage system.

- i. Provide a management and maintenance plan for the lifetime of the development of arrangements to secure the operation of the scheme throughout its lifetime. Including appropriate details of Inspection regimes, appropriate performance specification, remediation and timescales for the resolving of issues. Where there is overland flooding proposed, the plan should include the appropriate actions to ensure the safety of the users of the site should that be required.
- ii. Where the maintenance will not be the responsibility of an individual householder, the details of the body legally responsible for the implementation of the management and maintenance plan must be provided.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

REASON

To ensure the development does not increase the risk of flooding contrary to Policy EM6 Flood Risk Management in Hillingdon Local Plan: Part 1- Strategic Policies (Nov 2012) Policy 5.12 Flood Risk Management of the London Plan (2016).

6 COM9 Landscaping (car parking & refuse/cycle storage)

No development shall take place until a scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include the following details:

1. Details of Soft Landscaping
 - 1.a Planting plans (at not less than a scale of 1:100),
 - 1.b Written specification of planting and cultivation works to be undertaken,
 - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
2. Details of Hard Landscaping
 - 2.a Hard Surfacing Materials
 - 2.b Cycle Storage
 - 2.c External Lighting and CCTV
3. Details of Landscape Maintenance
 - 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
 - 3.b Proposals for the replacement of any tree, shrub, or area of surfacing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
4. Schedule for Implementation
5. Other
 - 5.a Existing and proposed functional services above and below ground
 - 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality, provides adequate facilities and to ensure the development provides a safe and secure environment in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policies 7.1 and 7.3 of the London Plan (2016).

7 NONSC Non Standard Condition

Prior to the commencement of the development hereby permitted, an ecological survey of the site, and proposals for mitigation of any impact on local ecology, shall be submitted to and approved in writing by the Local Planning Authority. The approved mitigation measures should be implemented prior to first occupation of the development.

REASON

In order to encourage a wide diversity of wildlife on the existing semi-natural habitat of the site in accordance with policy EC5 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and London Plan (2016) Policy 7.19.

8 NONSC Non Standard Condition

A Travel Plan and Delivery and Servicing Plan shall be provided and the details approved by the Local Planning Authority prior to the commencement of development.

REASON

To promote sustainable transport and reduce the impact of the development on the surrounding road network in accordance with London Plan (2016) Policies 6.1 and 6.3.

INFORMATIVES

1 152 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2016) and national guidance.

BE25	Modernisation and improvement of industrial and business areas
LE1	Proposals for industry, warehousing and business development
LE2	Development in designated Industrial and Business Areas
OE1	Protection of the character and amenities of surrounding properties and the local area
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
LPP 4.1	(2016) Developing London's economy
LPP 4.4	(2016) Managing Industrial Land and Premises
LPP 5.12	(2016) Flood risk management
LPP 5.13	(2016) Sustainable drainage
LPP 5.3	(2016) Sustainable design and construction
LPP 7.19	(2016) Biodiversity and access to nature
LPP 7.30	(2016) London's canals and other rivers and waterspaces
LPP 8.2	(2016) Planning obligations
NPPF1	NPPF - Delivering sustainable development

3 159 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 147 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs,

including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 12 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application may have to be submitted. The validity of this planning permission may be challengeable by third parties if the development results in any form of encroachment onto land outside the applicant's control for which the appropriate Notice under Article 13 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 has not been served.

6 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

7

The applicant should refer to the current "Code of Practice for Works affecting the Canal & River Trust" to ensure that any necessary consents are obtained (<https://canalrivertrust.org.uk/business-and-trade/undertaking-works-on-our-property-and-our-code-of-practice>).

The applicant is advised that surface water discharge to the Navigation will require prior consent from the Canal & River Trust. Please contact Nick Pogson from the Canal &

River Trust Utilities team (nick.pogson@canalrivertrust.org.uk).

The applicant/developer is advised that any encroachment or access onto the canal towpath requires written consent from the Canal & River Trust, and they should contact the Canal & River Trust's Estates Surveyor, Jonathan Young (jonathan.young@canalrivertrust.org.uk) regarding the required access agreement.

8

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. The Council's supports pre-application discussions in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is situated in a large industrial site located in the southern part of Uxbridge Industrial Estate, Wallingford Road and currently operates a storage use (Use Class B8).

The site covers 0.83 ha running adjacent to the canal tow path. To the east is the Grand Union Canal, which is separated by 2m galvanised steel palisade fencing and further to the west is the River Colne.

The last known use of the site was as open storage and vehicle repairs (Use Class B2/B8).

3.2 Proposed Scheme

The proposed development is for erection of 2 detached units for storage of scaffolding and building equipment and an ancillary office as such, the proposal does not involve a change of use.

The first building would be located on the western corner of the site and would measure 16m width x 20m length. The building would consist of pitch roof measuring 5m in height to the eaves and 7m to the highest point of the roof and features a large door opening, with up and over doors, to an internal loading area measuring 4.5m in height and 3m width. There is a smaller door opening to the rear of the building for a fire exit.

The second building is located adjacent to the western boundary and would measure 12m width x 15m length. The building features a flat roof 7m in height. This is proposed to be used as an ancillary office to the main use of the site.

A Transport Statement has been submitted by the applicant during the course of the application in respect of trip generation:

1. 12 members of staff arriving and leaving the site each day. 24 movements per day 144 movements per week based on a 6 day week.
2. 3 HGV delivery lorries departing and arriving back at the site each day. 6 movements per day 36 movements per week based on a 6 day week.

3. 3 transit van visits per day. 6 movements per day 36 movements per week based on a 6 day week.

4. 2 articulated lorry delivery's per week 4 movements per week.

This gives an anticipated number of movements for a working week of 220. Movements will be spread out over the day with regard to items 3 and 4, with the HGV movements under item 2 happening at the beginning and end of the working day. The most intense movement of traffic from the site will be the arrival and departure of the staff from the site. Previously, the site was occupied by 3 operators. The applicant has supplied evidence to indicate that the proposal would result in a 42% reduction in traffic movements.

3.3 Relevant Planning History

Comment on Planning History

There is no relevant planning history in relation to this site.

Surrounding Area

Planning ref. 751/APP/2015/335 - A planning appeal was dismissed at the West London Industrial Estate, Iver Lane against the continued use of the site for B8 purposes which included a new access to Wallingford Road.

The appeal was dismissed due to the impact of the operation in terms of noise arising from from vehicular movements and the impact of the proposal on the local highway network.

The difference between this proposal and the application refused at appeal is that this application makes use of an existing access to and from the site and the actual number of vehicles using this junction would reduce compared with the existing operation on site. The application at appeal sought to create a new access onto Wallingford Road which would have resulted in an intensification of use of the junction at Wallingford Road and Cowley Mill Road which would have exacerbated the existing concerns relating to vehicular and pedestrian safety.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

BE25 Modernisation and improvement of industrial and business areas

LE1 Proposals for industry, warehousing and business development

LE2 Development in designated Industrial and Business Areas

OE1 Protection of the character and amenities of surrounding properties and the local area

OE11 Development involving hazardous substances and contaminated land - requirement for ameliorative measures

LPP 4.1	(2016) Developing London's economy
LPP 4.4	(2016) Managing Industrial Land and Premises
LPP 5.12	(2016) Flood risk management
LPP 5.13	(2016) Sustainable drainage
LPP 5.3	(2016) Sustainable design and construction
LPP 7.19	(2016) Biodiversity and access to nature
LPP 7.30	(2016) London's canals and other rivers and waterspaces
LPP 8.2	(2016) Planning obligations
NPPF1	NPPF - Delivering sustainable development

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

3 neighbouring occupiers were consulted between 19 January 2016 and 09 February 2016. No responses received.

Canal & River Trust:

Site Drainage

The details of how foul sewage from the site is managed needs to be known (e.g. is it discharged to the foul sewer? If it is treated on-site, the Trust requires details of the treatment given and the destination of the treated wastewater). We would request details of the drainage system and location of the soakaway. We need to be clear on whether there is any possible discharge to the canal, given the site's activities.

Site Storage

What types of equipment that will be stored and whether they contain any oils, petrol or other hazardous substances? Will fuel tank or other fuel storage area on-site for the re-fuelling of this equipment. The Trust requests details regarding the location of the fuel storage onsite and appropriate ventilation.

Ecology

The Grand Union Canal is a Nature Conservation Site of Metropolitan Importance, and the proposal has the potential to have a significantly detrimental impact on this. We therefore request that an ecological survey assessment and report be undertaken by the applicant, and a suite of measures to mitigate identified impacts should be proposed as part of this.

Landscaping

There is a row of existing vegetation between the site and the towpath, and we would like to see this protected and enhanced, to screen the canal from the proposed use. As the existing vegetation appears to be outside of the red line boundary, it may be appropriate for this to be secured through a S106 agreement, with a contribution to the Canal & River Trust for landscaping.

In relation to the above concerns the Canal and Riverside Trust have suggested various conditions

be attached to an approval these are discussed and in the reports main consideration.

OFFICER COMMENTS:

The Trust has raised concerns regarding the nature of the storage i.e. whether there are hazardous substances including vehicle fuel, and the nature of any on-site maintenance such as washing. The applicant has provide details of storage of hazardous substances including fuel storage and has indicated that on-site storage amounts to outdoor storage of scaffolding equipment and it is understood that such storage and maintenance would not require washing.

Internal Consultees

Highways Officer:

Revised Highway comments were received and sent to the applicant on the 1 July 2016. In summary further traffic generation information was requested, together with a commuted sum of £20,000. The comments are as follows:

July 2016

The site is at the southern end of Wallingford Road and was previously used for vehicle storage and vehicle repairs. It is proposed to change the use to the storage, repair and sales of building equipment.

Wallingford Road is a private road in the Uxbridge Industrial Estate and contains a number of nearby industrial uses. The site has a PTAL value of 1a (poor) so there will reliance on the private car for staff working at the site along with visitors. It is proposed to construct offices and a workshop on the site and provide 26 parking spaces to cater for staff and visitors along with an area for the storage of the building equipment The material provided in support of the application is not detailed in terms of the traffic generation from the proposed change of use so I can understand the request for more details but the offices and workshop are typical of the type on the Uxbridge Industrial Estate. An office of 368 sq.m and workshop of 320 sq.m are unlikely to generate large volumes of vehicular activity but no information is supplied.

If you could ask the applicant for a brief summary of traffic generation at morning and evening peak hours along with an estimate for the total normal working week that would provide us with an understanding of the proposed operation.

Secure covered cycle parking for 8 cycles should be provided and this can be conditioned.

A Delivery and Servicing Plan can also be conditioned. We can also condition a Travel Plan for the proposed site operation.

We will be asking the applicant to contribute £20,000 towards the improvement works in the vicinity of Wallingford Road/Cowley Mill Road.

OFFICER COMMENTS:

The applicant has provided additional information relating to traffic generation as requested. This is detailed in the proposed development section.

Flood and Water Management Officer:

The application sits in Flood Zone 1, and appears to be under 1 hectare. However it is important that this site manages surface water appropriately and reduced the run off from the site through an appropriate sustainable scheme.

Therefore a sustainable water management condition is requested.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy LE1 of the Local Plan - Part Two (saved policies) states that proposals for industrial and warehouse development will be assessed by taking into account other policies of this plan and, where appropriate, the other considerations. Of relevance to the application proposal is:

(i) whether the proposal conflicts with the local planning authority's overall objective of securing the development or regeneration of an area;

Supporting text to the policy states that "The Local Planning Authority has designated a series of Industrial and Business Areas (IBAs) as the proposed locations for new industrial and warehousing development." These locations are considered to be appropriate locations for accommodating industrial uses to separate industrial development from residential and other sensitive uses. The industrial estates are also suitable for employment generating uses when such uses would be undesirable in other locations.

It is considered that the proposed use would support local planning authority's overall objective of securing employment generating development within the area.

Policy LE2 states that industrial and business areas are designated for business, industrial and warehousing purposes (use classes B2-B8) and for sui generis uses appropriate in an industrial area. The policy provides criteria against which other forms of development might be considered. The proposed development is industrial in nature and is appropriately located within the industrial estate and as such the principle of the development is considered to be acceptable.

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) states that all new developments should achieve a high quality of design in all new buildings. Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that the layout and appearance of new development should "harmonise with the existing street scene or other features of the area."

The application site is located within a designated industrial estate. The site features a number of pre-fab cabins and the site is surfaced in concrete.

The new buildings are located along the western side of the site away from the canal tow path. The units would be visible from the canal tow path but would be seen within the context of the industrial estate. The proposed design of the buildings are appropriate for the industrial location. Both the units are modest in scale and appropriate within the

location.

7.08 Impact on neighbours

The application premise is located within the Uxbridge Industrial Estate. The site comprises a vehicle repair workshop for large vehicles located to the north of the site and a storage area for plant equipment/ machinery and large vehicles. The application is bounded by a low rise wall and approximately 2m of galvanised steel palisade fencing along the eastern boundary which abuts the canal tow path. Policy OE1 ensures planning permission is granted for uses and development that would not be detrimental to the character or amenities of surrounding properties or the area generally. It is considered that the application proposal conforms to policy OE1 of the Hillingdon Local Plan - Part Two (Saved Policies).

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The site is located within an area of low public transport accessibility, it is therefore expected that there would be a reliance of private vehicles. The applicant has submitted evidence to demonstrate that there would be a reduction of 42% in traffic movement, compared to the existing use of the site.

It is acknowledged that an appeal was dismissed recently relating to another site in the vicinity of the application site. The difference between the scheme that was subject to appeal and the application site is that the scheme under appeal sought to create an additional access point. The proposed use under appeal was therefore considered to generate an increase in noise and additional pressure on the junction at Wallingford Road and Cowley Mill Road. Whereas the proposal under this application has provided evidence that the proposal would result in a reduction of traffic by 42% compared with the previous use and in light of this evidence, the proposal is not considered to exacerbate pedestrian and vehicular safety at the Wallingford Road and Cowley Mill Road junction.

Nevertheless, given the pressure on the existing junction, a commuted sum of £20,000 is sought to mitigate any potential impact and contribute to Highway Improvements in the immediate vicinity. This commuted sum has been negotiated with the applicant and will be finalised by way of a S106 agreement.

The addendum to chapter 6 of the London Plan requires 1 space per 50-100 GIA. The application contains details indicating sufficient parking for 30 staff and visitor vehicles 5 delivery vehicles which is considered to be acceptable.

7.11 Urban design, access and security

See section above 'Impact on the character & appearance of the area'.

7.12 Disabled access

Not applicable to this application.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Ecology

The Grand Union Canal is a Nature Conservation Site of Metropolitan Importance, and industrial activities have potential to significantly impact the natural habitat. Policy EC1 States that the The local planning authority will not permit development which would adversely affect the integrity of Sites of Special Scientific interest, or be unacceptably

detrimental to sites of Metropolitan or borough (grade i) Importance for nature conservation, designated local nature reserves and other nature reserves. It states further, that development proposed near the vicinity of such sites, must submit an Ecological Assessment where considered appropriate by the local planning authority.

The site is covered in its entirety with concrete hardstanding and devoid of vegetation of any description. Furthermore, there is a 0.9m high dwarf concrete wall along its boundary where the site abuts against the canal tow path. Therefore, the development is unlikely to result in ecological harm if undertaken sensitively. It is proposed to attach a suitable condition requiring the submission of an ecological assessment in compliance with the policy.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

The site falls within flood zone 1 (least likely to flood) however, the site presently has a surface covering of concrete which is non-porous and offers no opportunity for rainwater to soak-away naturally. There may be existing issues around rain water run off. Therefore, the extent to which the proposed development might affect this concern should be understood prior to the commencement of work on site to ensure appropriate mitigation is incorporated into the scheme design. It is proposed to apply a condition requiring details of drainage prior to commencement of works on site.

7.18 Noise or Air Quality Issues

It is considered that given the proposed use is less intensive than the existing operation on site, the proposal would not result in additional noise and air quality issue beyond that which currently exist.

7.19 Comments on Public Consultations

The planning issues raised have been addressed as appropriate in the report.

7.20 Planning obligations

Please refer to the 'Section 106 details' below.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

Contaminated Land

This is a long standing industrial area and, given the development involves minor excavations of foundation footings for the building, to allay concerns arising from possible land contamination, it is proposed to attached a condition requiring a site investigation prior to work being under taken to comply with policy OE11 of the Hillingdon Local Plan - Part Two - Saved UDP Policies (November 2012) .

Lighting and CCTV

The application provides no details concerning external lighting. It is likely during the winter months lighting would be required to maintain the operation of the site. Lighting is necessary for security and to reduce instances of crime. However, it can affect local ecology and night-time visual amenity and setting of the Grand Union Canal. Thus, It is proposed to apply a condition requiring further details prior to commencement of works on

site.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

Planning permission is sought for the erection of 2 detached units to accommodate a storage depot and an ancillary office (Use Class B8) within the Uxbridge Industrial Estate on Wallingford Road.

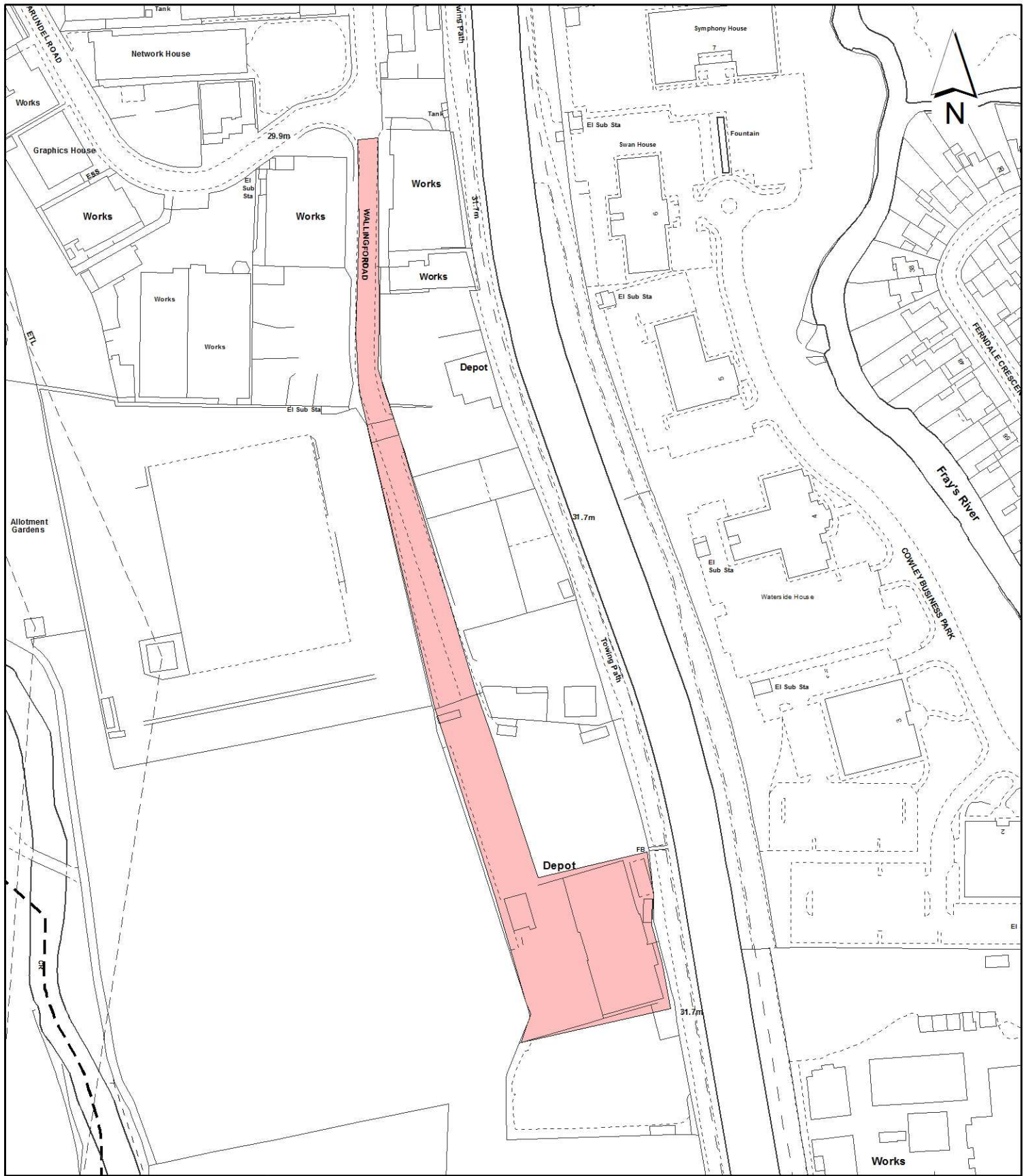
The proposed development is considered acceptable as its use is established and the proposed form of the 2 detached units are consistent with the character of the industrial area. The proposal would not result an increase in traffic generation and as such the proposal would not add further pressure to the local highway network. The proposal would contribute towards improving the junction at Wallingford Road and Cowley Mill Road. The recommendation is for an approval subject to a Section 106 legal agreement.

08.0 Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
The London Plan (2016)
National Planning Policy Framework (2012)

Contact Officer: Zenab Haji-Ismail

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

48 Wallingford Road

Planning Application Ref:

71488/APP/2015/4721

Scale:

1:2,000

Planning Committee:

Central & South

Date:

March 2017

LONDON BOROUGH OF HILLINGDON
Residents Services Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



HILLINGDON
 LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address FOOTPATH OPPOSITE 35 FALLING LANE YIEWSLEY

Development: Installation of 12.5m high telecommunications monopole and associated works (Application for prior approval under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) (England) Order 2015)

LBH Ref Nos: 72106/APP/2017/464

Drawing Nos: 78782-CTIL-100 Rev. H
78782-CTIL-201 Rev. H
78782-CTIL-301 Rev. H
78782-CTIL-401 Rev. H
78782-CTIL-802 Rev. H
78782-CTIL-404 Rev. H
78782-CTIL-501 Rev. H
78782-CTIL-502 Rev. H
78782-CTIL-801 Rev. H
78782-CTIL-403 Rev. H
Supplementary Information
ICNIRP Declaration
Supporting Technical Information - Coverage Plots
Developer's Notice
General Background Information for Telecommunications Development
Health and Mobile Phone Base Station

Date Plans Received: 08/02/2017

Date(s) of Amendment(s):

Date Application Valid: 08/02/2017

1. SUMMARY

The applicant seeks prior approval for a telecommunications installation under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) Order 2015). The proposed installation would provide upgraded 3G coverage and introduce 4G to the area.

The proposed telecommunications installation would not result in a detrimental impact on the character and appearance of the street scene or the surrounding area. The proposal would not cause harm to pedestrian and highway safety. The proposed development therefore complies with Policies AM7, BE13 and BE37 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Chapter 5 of the National Planning Policy Framework (March 2012).

It is therefore recommended that prior approval be required in this instance and that approval be granted.

2. RECOMMENDATION

APPROVAL subject to the following:

1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 78782-CTIL-201 Rev. H, 78782-CTIL-301 Rev. H, 78782-CTIL-401 Rev. H, 78782-CTIL-403 Rev. H, 78782-CTIL-404 Rev. H, 78782-CTIL-501 Rev. H, 78782-CTIL-502 Rev. H, 78782-CTIL-801 Rev. H and 78782-CTIL-802 Rev. H and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2016).

3 NONSC Non Standard Condition

Any apparatus or structure provided in accordance with this approval shall be removed from the land, as soon as reasonably practicable after it is no longer required for electronic communications purposes, and such land, shall be restored to its condition before the development took place, or to any other condition as may be agreed in writing with the Local Planning Authority.

REASON

To ensure that the development is removed as soon as it is no longer required in order to protect the character and appearance of the area in accordance with Policies BE13 and BE37 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to APPROVE details of siting and design has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to APPROVE details of siting and design has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

- | | |
|------|--|
| AM7 | Consideration of traffic generated by proposed developments. |
| BE13 | New development must harmonise with the existing street scene. |
| BE19 | New development must improve or complement the character of the area. |
| BE37 | Telecommunications developments - siting and design
NPPF - Supporting high quality communication infrastructure |

NPPF5

3 159 **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 147 **Damage to Verge - For Council Roads:**

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 115 **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

6

The installation is to be carried out in accordance with NJUG, Volume 4 (2007) 'Guidelines for the planning, installation and maintenance of utilities apparatus in proximity to trees.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises a section of footpath opposite 35 Falling Lane and contains a number of trees. An advertising sign is located some 10m north-east of the site. Yiewsley Recreation Ground is located behind the application site.

3.2 Proposed Scheme

The applicant seeks prior approval for a telecommunications installation under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) Order 2015). The proposed installation would provide upgraded 3G coverage and introduce 4G to the area.

The scheme would comprise of a 12.5m high telecommunications monopole with three internally shrouded antennas and one equipment cabinet located between two existing trees on the footpath.

The equipment cabinet would be provided under Permitted Development Rights. It should be noted that the equipment cabinet, whilst being Permitted Development, would not be required without the proposed monopole.

3.3 Relevant Planning History

72106/APP/2016/3296 Footway Adjacent Yiewsley Library Car Park Falling Lane Yiewsley
Installation of 12.5m high monopole mobile phone mast with ancillary equipment cabinet and associated works (application for prior approval under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) (England) Order 2015)

Decision: 03-10-2016 Withdrawn

72106/APP/2016/4444 Footway Adjacent Yiewsley Library Car Park Falling Lane Yiewsley
Erection of a 12.5m high telecommunications mast and installation of a ground cabinet.

Decision: 25-01-2017 Withdrawn

72106/PRC/2016/148 Footway Adjacent Yiewsley Library Car Park Falling Lane Yiewsley
Installation of 12.5m high monopole mobile phone mast.

Decision:

Comment on Relevant Planning History

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM7 Consideration of traffic generated by proposed developments.

BE13 New development must harmonise with the existing street scene.

BE19 New development must improve or complement the character of the area.

BE37 Telecommunications developments - siting and design

NPPF5 NPPF - Supporting high quality communication infrastructure

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **15th March 2017**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Consultation letters were sent to 16 local owners/occupiers and a site notice was displayed. No responses were received at the time of this report.

Internal Consultees

Trees/Landscape Officer:

This site is an exceptionally wide footway on the south side of Falling Lane and lies immediately to the north of Yiewsley Recreation Ground. The houses to the north are served by a separate service road which is separated from Falling Lane by a mature hedgerow. There are a number of nearby trees both within the footway and to the rear, within the park, which are indicated on the north-west elevation drawing. The street lighting on Falling Lane consists of luminaires on 10 metre high columns - slightly shorter than the proposed 12.5 metre high monopole.

There is no objection to the proposed installation in terms of the visual impact. However, the cabinet and pole are close to existing street trees and care will be required with any trenching work or excavation required to facilitate the installation

RECOMMENDATION No objection subject to the installation being carried out in accordance with NJUG, Volume 4 (2007) 'Guidelines for the planning, installation and maintenance of utilities apparatus in proximity to trees'.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy BE37 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that telecommunications developments will be acceptable in principle provided that any apparatus is sited and designed so as to minimise its effect on the appearance of the surrounding areas. The policy also states that permission for large or prominent structures will only be granted if:

- (i) there is a need for the development in that location;
- (ii) no satisfactory alternative means of telecommunications is available;
- (iii) there is no reasonable possibility of sharing existing facilities;
- (iv) in the case of radio masts there is no reasonable possibility of erecting antennae on an existing building or other structure; and
- (v) the appearance of the townscape or landscape is not seriously harmed.

The proposed installation is required in order to provide upgraded 3G coverage and introduce 4G to the area. The applicant has provided existing and proposed coverage plots which demonstrate the need for additional coverage, and confirmed that no preferable alternative locations are available or acceptable.

The height and location of the proposed telecommunications monopole would be acceptable and is not considered to result in a detrimental impact on the character and appearance of the immediate and surrounding area. The existing trees along the footpath will provide some screening to reduce the visual impact of the monopole. Notably, the proposal would not result in clutter of street furniture within the vicinity.

The proposed equipment cabinet would be provided under Permitted Development Rights. It should be noted that the equipment cabinet, whilst being Permitted Development, would not be required without the proposed monopole. It is considered that the equipment cabinet would be acceptable in the proposed location next to the telecommunications monopole.

It is therefore considered that the proposal would comply with Policy BE37 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) requires developments to harmonise with the existing street scene and other features of the area that are considered desirable to retain or enhance.

The proposed installation comprises a monopole and an equipment cabinet (allowed under Permitted Development Rights) which would be located between two existing trees in the middle of the footpath. The location of the monopole and equipment cabinet in the middle of the footpath is acceptable and the trees would provide some screening of the monopole and equipment cabinet, reducing its overall visual impact. Furthermore, the proposal would not result in clutter of street furniture within the vicinity.

It is considered that the proposal would not result in a detrimental impact on the character

and appearance of the street scene and surrounding area, thereby complying with Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.08 Impact on neighbours

The nearest residential properties are located opposite the application site and are accessed from a service road. The service road is separated from Falling Lane by a mature hedgerow and so it is considered that the proposed telecommunications installation would not impact on residential amenity for these properties.

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy AM7 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) considers whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety.

The proposed telecommunications monopole and equipment cabinet would be located in the middle of a wide footpath alongside Falling Lane and next to Yiewsley Recreation Ground. The monopole and cabinet would be located in line with two existing trees that run down the middle of the footpath and so would not result in an obstruction on the footpath. The monopole and cabinet would be set back from the roadside and so would not obstruct the public highway.

It is therefore considered that the proposed telecommunications installation will not cause harm to pedestrian and highway safety and so complies with Policy AM7 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.11 Urban design, access and security

The telecommunications mast would be 12.5m high and would hold three antennae at the top within a 0.5m diameter shroud. The mast would be constructed from steel and coloured grey, and is considered to be acceptable in design terms.

7.12 Disabled access

Not applicable to this application.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

The Council's Trees/Landscape Officer has no objection to the proposed telecommunications installation in terms of the visual impact. As the proposed monopole and equipment cabinet would be located between two trees on the footpath care will be required with any trenching work or excavation required to facilitate the installation and the installation of the equipment will need to be carried out in accordance with NJUG, Volume 4 (2007) 'Guidelines for the planning, installation and maintenance of utilities apparatus in proximity to trees'. It is considered that this can be an informative on any consent granted.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

No responses were received during the public consultation at the time of this report.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

Health:

In terms of potential health concerns, the applicant has confirmed that the proposed installation complies with the ICNIRP (International Commission for Non Ionising Radiation Protection) guidelines. Accordingly, in terms of Government policy advice, there is not considered to be any direct health impact. Therefore, further detailed technical information about the proposed installation is not considered relevant to the Council's determination of this application.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning

applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The applicant seeks prior approval for a telecommunications installation under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) Order 2015). The proposed installation would provide upgraded 3G coverage and introduce 4G to the area.

The proposed telecommunications installation would not result in a detrimental impact on the character and appearance of the street scene or the surrounding area. The proposal would not cause harm to pedestrian and highway safety. The proposed development therefore complies with Policies AM7, BE13 and BE37 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Chapter 5 of the National Planning Policy Framework (March 2012).

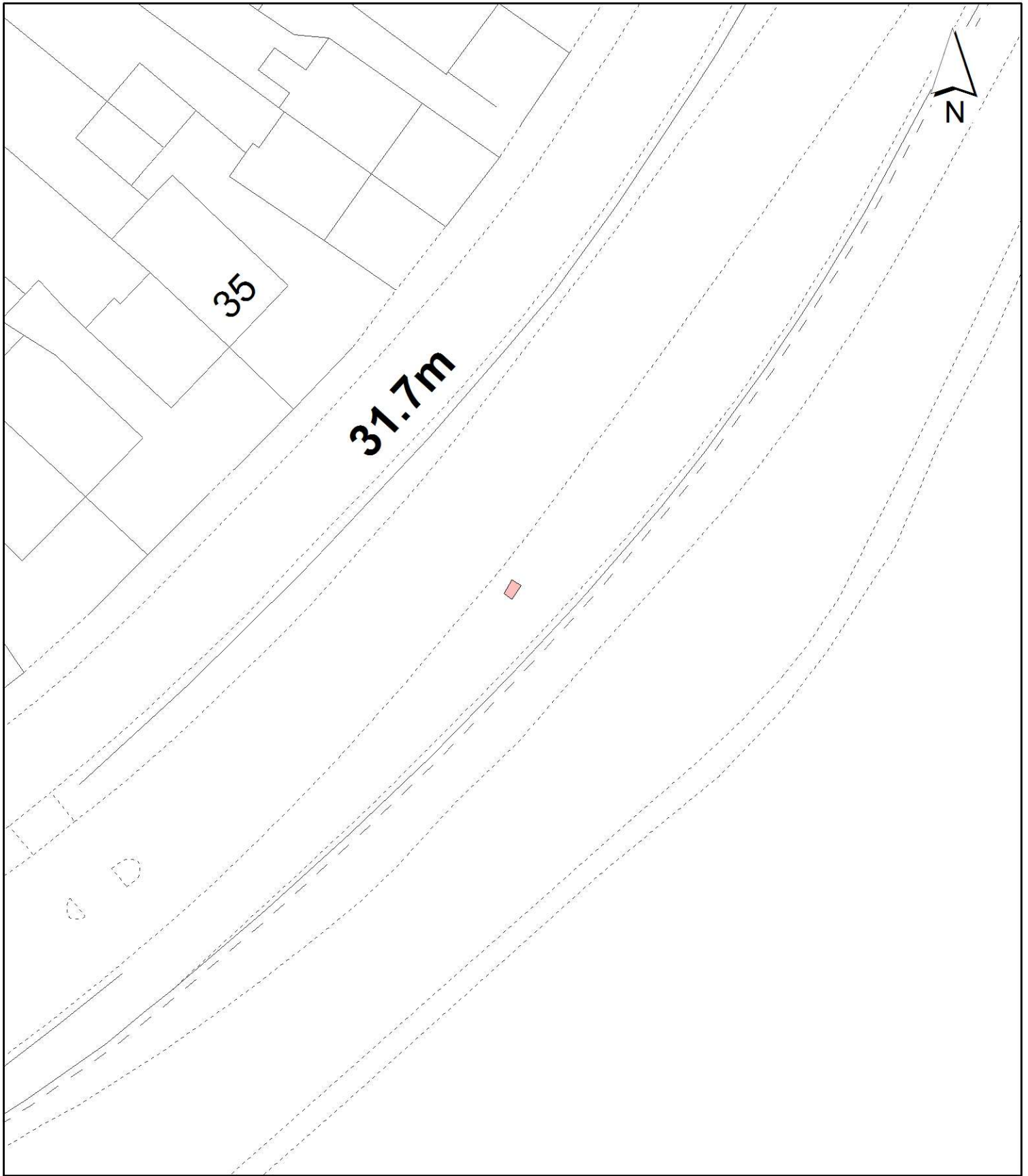
It is therefore recommended that prior approval be required in this instance and that approval be granted.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
National Planning Policy Framework (March 2012) Chapter 5

Contact Officer: Katherine Mills

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Footpath Opposite
 35 Falling Lane**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

72106/APP/2017/464

Scale:

1:350

Planning Committee:

Central & South

Date:

March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address LESSER BARN HUBBARDS CLOSE HILLINGDON

Development: Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping

LBH Ref Nos: 5971/APP/2016/3922

Drawing Nos: Heritage Statement
Heritage Statement Appendix 2: Archaeological Record Drawings of the Lesser Barn
Heritage Statement Appendix 3: 2007 Photographic Survey of the Lesse Barn
Design and Access Statement
Covering Letter/Planning Statement
16092/001 Site Plan
2688-02/MP Existing Elevations (Before Collapse of Lesser Barn)
2688-01/MP Existing Ground Floor Plan (Before Collapse of Lesser Barn)
2688-03/MP Rev. R3 Proposed Ground Floor Plan
2688-04/MP Rev. R3 Proposed First Floor Plan
2688-14/MP Rev. R3 Proposed Elevations
2688-06/MP Rev. R1 Proposed Section A-A
2688-05/MP Rev. R1 Proposed Section B-B
2688-15/MP Site Location Plan and Site Block Plan
2688-24 Foundation Detail - Intermediate Floor - Facing Brick Wall
2688-22 Eaves Detail - Facing Brick Wall
2688-21 Window Head & Cill Wall Details
2688-20 External Wall Details - Timber Cladd Wall
2688-19 Foundation Detail - Intermediate Floor Detail
2688-18 Roof Detail - Floor-Wall Junction - Shiplap clad wall
2688-17/MP Penny Copeland Survey Ground Floor Plan
2688-16/MP Penny Copeland Survey Ground Floor Plan
2688-13/MP Rev. R1 Eaves Detail
2688-12/MP Foundation Detail
2688-11/MP Rev. R1 Eaves Detail
2688-10/MP Foundation Detail
2688-09/MP Ridge Detail
2688-08/MP Rev. R1 Window Detail
2688-07/MP Specification Notes
2688-23 External Wall Details - Facing Brick Wall
Updated Timber Frame Condition Survey January 2017
Update Report dated 30 January 2017

Date Plans Received: 24/10/2016 **Date(s) of Amendment(s):**

Date Application Valid: 24/10/2016

1. SUMMARY

The application site comprises of the Grade II Listed Hubbards Farm Lesser Barn. The proposal seeks planning permission for the rebuilding and conversion of the Grade II Listed Lesser Barn into two three-bedroom residential units.

The proposed scheme is a re-submission of the 2012 approved application ref: 5971/APP/2011/2438, which has since expired. The Grade II Listed Lesser Barn was previously used as stables which ceased use in 2000. Since this time the Lesser Barn became increasingly derelict and has now collapsed and has been dismantled by a specialist contractor, recorded and stored on site for reinstatement.

The proposed rebuilding of the Lesser Barn would restore a Grade II Listed Building, reusing existing timbers where possible. The conversion of the re-built barn to two residential dwellings would bring the Grade II Listed Lesser Barn back into use whilst retaining the historic character of the building. The proposed residential units would provide adequate living conditions for future occupiers.

The proposed scheme for the rebuilding and conversion of the Grade II Listed Building to two three-bed residential units would not have a detrimental impact on the character and appearance of the street scene and the Green Belt, or on the residential amenity of future occupiers of the site or neighbouring properties.

The application complies with Policies BE1, EM2 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies AM7, AM14, BE8, BE10, BE13, BE15, BE19, BE20, BE21, BE23, BE24, H4 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). The application is therefore recommended for approval subject to a Section 106 Agreement. The associated Listed Building Consent ref: 5971/APP/2012/122 has also been recommended for approval subject to a Section 106 Agreement.

2. RECOMMENDATION

That delegated powers be given to the Head of Planning and Enforcement to grant planning permission, subject to any relevant amendments agreed by the Head of Planning and Enforcement and the following:

A. That the Council enters into a legal agreement with the applicant under Section 106 of the 1990 Town & Country Planning Act (as amended) or other appropriate legislation to secure:

1. The Lesser Barn shall be returned to the site and reinstated as part of the works within a specified time frame.

B. That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.

C. If the Legal Agreement has not been finalised within 3 months, under the discretion of the Head of Planning and Enforcement, the application is refused under delegated powers on the basis that the applicant has failed to return and reinstate The Lesser Barn.

D. That if the application is approved, the following conditions be attached:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 RES4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, 16092/001, 2688-03/MP Rev. R3, 2688-04/MP Rev. R3, 2688-05/MP Rev. R1, 2688-06/MP Rev. R1, 2688-07/MP, 2688-08/MP Rev. R1, 2688-09/MP, 2688-10/MP, 2688-11/MP Rev. R1, 2688-12/MP, 2688-13/MP Rev. R1, 2688-14/MP Rev. R3, 2688-15/MP, 2688-18, 2688-19, 2688-20, 2688-21, 2688-22, 2688-23 and 2688-24 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the London Plan (2016).

3 M1 Details/Samples to be Submitted

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

4 AR3 Sites of Archaeological Interest - scheme of investigation

No development shall take place until the applicant, their agent or successor in title has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. Thereafter development shall only take place in accordance with the approved scheme. The archaeological works shall be carried out by a suitably qualified body acceptable to the Local Planning Authority.

REASON

The site is of archaeological interest and it is considered that all evidence of the remains should be recorded in accordance with Policy BE3 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

5 RES12 No additional windows or doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing 42 and 43 Hubbards Close.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

6 RES13 Obscure Glazing

The rooflights facing 42 and 43 Hubbards Close shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7 RES14 Outbuildings, extensions and roof alterations

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

To protect the character and appearance of the area and amenity of residential occupiers in accordance with policies BE13, BE21, BE23 and BE24 of the Hillingdon Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

8 TL1 Existing Trees - Survey

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Species, position, height, condition, vigour, age-class, branch spread and stem diameter of all existing trees, shrubs and hedges on and immediately adjoining the site.
- (ii) A clear indication of trees, hedges and shrubs to be retained and removed.
- (iii) Existing and proposed site levels.
- (iv) Routes of any existing or proposed underground works and overhead lines including their manner of construction.
- (v) Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees and other vegetation to be retained during construction work.

REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

9 RES9 Landscaping (including refuse/cycle storage)

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping

- 1.a Planting plans (at not less than a scale of 1:100),
- 1.b Written specification of planting and cultivation works to be undertaken,
- 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

- 2.a Refuse Storage (inc. elevations if appropriate)
- 2.b Cycle Storage (inc. elevations if appropriate)
- 2.c Means of enclosure/boundary treatments (inc. elevations if appropriate)
- 2.d Car Parking Layouts
- 2.e Hard Surfacing Materials
- 2.f External Lighting

3. Schedule for Implementation

4. Other

4.a Existing and proposed functional services above and below ground

4.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Policy 5.17 (refuse storage) of the London Plan.

10 H7 Parking Arrangements (Residential)

The parking areas (including where appropriate, the marking out of parking spaces) including any garages and car ports shown on the approved plans, shall be constructed, designated and allocated for the sole use of the occupants prior to the occupation of the development and thereafter be permanently retained and used for no other purpose.

REASON

To ensure that an appropriate level of car parking provision is provided on site in accordance with Policy AM14 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

11 ST1 Site Survey and Remediation Scheme

Before any part of this development/conversion is commenced a site survey to assess the land contamination levels shall be carried out to the satisfaction of the Council and a remediation scheme for removing or rendering innocuous all contaminants from the site shall be submitted to and approved by the Local Planning Authority. The remediation scheme shall include an assessment of the extent of site contamination and provide in detail the remedial measures to be taken to avoid risk to the occupiers and the buildings when the site is developed, including building conversions. All works which form part of this remediation scheme shall be completed before any part of the development is occupied or brought into use (unless otherwise agreed in writing by the Local Planning Authority). The condition will not be discharged until verification information has been submitted for the remedial works.

Any imported material i.e. soil and site won soil shall be tested for contamination levels therein to the satisfaction of the Council.

REASON

To ensure that the occupants and users of the development are not subject to any risks from contamination in accordance with policy OE11 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and London Plan (2016) Policy 5.21 (Contaminated Land).

12 RES15 Sustainable Water Management (changed from SUDS)

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the

development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and London Plan (2016) Policy 5.12.

13 ST1 Standard Condition

The communal garden area shall be maintained as such and shall not be subdivided without the prior written consent of the Local Planning Authority.

REASON

In order to provide a satisfactory external amenity space for the occupants in accordance with Policies BE23 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE8	Planning applications for alteration or extension of listed buildings
BE9	Listed building consent applications for alterations or extensions Proposals detrimental to the setting of a listed building

BE10	
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
OL4	Green Belt - replacement or extension of buildings
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
NPPF1	NPPF - Delivering sustainable development
NPPF12	NPPF - Conserving & enhancing the historic environment
NPPF6	NPPF - Delivering a wide choice of high quality homes
NPPF9	NPPF - Protecting Green Belt land

3 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2016). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 I47 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 I2 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

6 13 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

7 15 Party Walls

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

carry out work to an existing party wall;

build on the boundary with a neighbouring property;

in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

8 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

9 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best

Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

10

The applicant is advised that the four existing parking spaces on the site should be used by contractors for parking during construction works in order to minimise disruption on the highway.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the western side of Hubbards Close and comprises of the Hubbards Farm Lesser Barn. 42-53 Hubbards Close and associated parking is located north-west of the site. An area of parking is located on the southern boundary while the Grade II Listed Hubbards Farm Greater Barn is located on the opposite side of Hubbards Close. The application site is located within an area of Green Belt.

3.2 Proposed Scheme

Planning permission is sought for the rebuilding of a Grade II Listed Barn (Hubbards Farm Lesser Barn) with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping.

The Lesser Barn was previously used as stables which ceased use in 2000. Since this time the Lesser Barn became increasingly derelict such that it collapsed and has been dismantled by a specialist contractor, recorded and stored on site for reinstatement.

An application for Listed Building Consent is being dealt with under application ref: 5971/APP/2013/1839.

3.3 Relevant Planning History

5971/APP/2007/2137 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
CONVERSION OF MAIN BARN AND OUTBUILDING TO CREATE 1, THREE-BEDROOM, 2,
TWO-BEDROOM AND 2, ONE-BEDROOM DWELLING UNITS INVOLVING ALTERATIONS TO
EXISTING BARN, ERECTION OF AN EXTENSION TO OUTBUILDING AND RE-SITING OF
DETACHED GRANARY BUILDING, TOGETHER WITH ASSOCIATED PARKING, ACCESS AND
LANDSCAPING

Decision: 15-01-2008 Approved

5971/APP/2007/2146 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton Road H
CONVERSION OF LESSER BARN TO 2 THREE-BEDROOM DWELLINGS INVOLVING

INTERNAL AND EXTERNAL ALTERATIONS TO EXISTING BARN WITH ASSOCIATED PARK AND LANDSCAPING

Decision: 26-02-2008 Approved

5971/APP/2007/2148 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
Conversion of main barn, with single storey extension to form 1 three-bedroom dwelling, 2 two-bedroom dwellings and 2 one-bedroom dwellings, and provision of 6 parking spaces within courtyard (Application for Listed Building Consent).

Decision: 15-01-2008 Approved

5971/APP/2007/2177 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton Road H
CONVERSION OF BARN TO TWO THREE BEDROOM DWELLINGS INVOLVING INTERNAL AND EXTERNAL ALTERATIONS TO EXISTING BARN WITH ASSOCIATED PARKING AND LANDSCAPING (APPLICATION FOR LISTED BUILDING CONSENT)

Decision: 26-02-2008 Approved

5971/APP/2011/2438 Lesser Barn Hubbards Close Hillingdon
Conversion of lesser barn to two three-bedroom dwellings involving internal and external alterations to existing barn with associated parking and landscaping.

Decision: 18-04-2012 Approved

5971/APP/2011/2439 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
Conversion of main barn and outbuilding to create 1 three-bedroom, 2 two-bedroom and 2 one-bedroom dwelling units, involving alterations to existing barn, erection of an extension to outbuilding and re-siting of detached granary building together with associated access, parking and landscaping.

Decision: 18-04-2012 Approved

5971/APP/2012/121 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road I
Conversion of main barn and outbuilding to create 1 three-bedroom, 2 two-bedroom and 2 one-bedroom dwelling units, involving alterations to existing barn, erection of an extension to outbuilding and re-siting of detached granary building together with associated access, parking and landscaping (Listed Building Consent)

Decision: 18-04-2012 Approved

5971/APP/2012/122 Lesser Barn, Hubbards Farm, Hubbards Close West Drayton Road H
Conversion of Lesser barn to two 3-bedroom dwellings, involving internal and external alterations to existing barn, with associated parking and landscaping (Application for Listed Building Consent).

Decision: 18-04-2012 Approved

5971/APP/2013/1839 The Lesser Barn Hubbards Close Hillingdon

Dismantling of existing farm outbuilding and reconstruction to accord with planning permission ref: 5971/APP/2011/2438, dated 18-04-12 (Conversion of Lesser Barn to two three-bedroom dwellings involving internal and external alterations to existing barn with associated parking and landscaping) (Application for Listed Building Consent)

Decision: 21-05-2015 Approved

5971/APP/2013/2831 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road Hillingdon

Dismantling and rebuilding of existing barn and extension to provide 7 self contained flats with associated external works and landscaping

Decision: 21-05-2015 Approved

5971/APP/2014/1168 Greater Barn, Hubbards Farm, Hubbards Close West Drayton Road Hillingdon

Listed Building Consent for the dismantling and rebuilding of existing barn and extension to provide 7 self contained flats.

Decision: 21-05-2015 Approved

Comment on Relevant Planning History

Lesser Barn:

The associated Listed Building Consent ref: 5971/APP/2013/1839 for the reconstruction of the Grade II Listed Lesser Barn was approved at the Central and South Planning Committee in November 2014 subject to a Section 106 Agreement. Due to a change in ownership of the application site, the Section 106 Agreement has not yet been completed; the current owner of the site has confirmed that they are happy to complete the Section 106 Agreement should planning permission be granted.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains

PT1.HE1 (2012) Heritage

Part 2 Policies:

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE8	Planning applications for alteration or extension of listed buildings
BE9	Listed building consent applications for alterations or extensions
BE10	Proposals detrimental to the setting of a listed building
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
OL4	Green Belt - replacement or extension of buildings
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
LPP 3.8	(2016) Housing Choice
NPPF1	NPPF - Delivering sustainable development
NPPF12	NPPF - Conserving & enhancing the historic environment
NPPF6	NPPF - Delivering a wide choice of high quality homes
NPPF9	NPPF - Protecting Green Belt land

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Consultation letters were sent to 49 local owners/occupiers. One response was received:

- i) will there be additional parking for builders and would this become resident only parking?
- ii) may cause congestion to the local area/roads
- iii) how will builders ensure minimum disruption to residents during construction?
- iv) what will be the hours of work during construction?

v) will there be a site manager appointed for the development?

Historic England:

The Grade II Listed Lesser Barn at Hubbards has been on the Heritage at Risk register for several years, and has now collapsed entirely. This application is a re-submission of a previous approved scheme to rebuild the barn for residential use.

As raised at the time of the previous consents for listed building and planning consent in 2013/14, we reiterate the need to ensure through a legal agreement that the timbers are returned to site and rebuilt, following the removal, detailed inspection and repair of salvaged timbers. We also recommend that a clear methodology for the process of removal, repair, return and reconstruction of the frame is provided, particularly given the current collapsed state of the barn.

Given the current state of the site, and subject to this legal agreement and a detailed method statement for the treatment of the historic timbers, we are content that the scheme would be an appropriate solution.

Recommendation

We would urge you to address the above issues, and recommend that the application should be determined in accordance with national and local policy guidance, and on the basis of your specialist conservation advice. It is not necessary for us to be consulted again.

Please note that this response relates to historic building and historic area matters only. If there are any archaeological implications to the proposals it is recommended that you contact the Greater London Archaeological Advisory Service for further advice.

Internal Consultees

Conservation Officer:

This will replace the previous approval and needs to be linked with the latest agreed, but not yet issued, Listed Building Consent and the still in draft S106 Agreement. No objection.

Environmental Protection Unit:

No objection to the planning application. Please add control of environmental nuisance from construction work informative.

Highways:

This application is for the conversion of an existing listed Lesser Barn site to create 2 x 3 bed dwellings in Hubbards Close Hillingdon. There have been previous approvals on this site for the conversion of the barn for 2 x 3 bed dwellings. Hubbards Close is a local road on the Council's road network. The site has a PTAL value of 1b (poor) which suggests there will be a strong reliance on private cars for trip making. There are no waiting restrictions in the area as the majority of local housing has access to off-street parking.

The proposals include 4 off-street car parking spaces which is supported. The proposals will add to the existing traffic in the area but the changes will be relatively small. There will have to be changes to the existing access to the site but these can be made at the applicant's expense.

There is no information available in the application regarding the 4 secure covered cycle parking spaces required nor the refuse/recycling facilities that should be provided within 10m of the existing highway. Both of these items can be condition if you are of mind to recommend approval.

On the basis of the above remarks I do not have significant highway concerns over the above application.

Trees/Landscape Officer:

This site is occupied by a walled plot which formerly accommodated a timber barn, the remains of which are being stored within the site. The site is flat and there are no trees or other vegetation which might pose a constraint on development.

If the proposed development is recommended for approval, landscape conditions should be imposed to ensure that the development contributes to the character and appearance of both the barn and the wider area.

No objection subject to condition RES9 (landscaping) (parts 1, 2, 5 and 6)

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The use of the Lesser Barn for residential purposes has already been established in principle, following approval of the original application (ref: 5971/APP/2007/2146) in 2008, and the approval of the subsequent resubmission application (ref: 5971/APP/2011/2438) in April 2012, for two residential units. The 2012 planning permission (ref: 5971/APP/2011/2438) has now expired.

Policy H4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to provide a mix of housing units of different sizes within residential schemes. The current proposal would rebuild the Grade II Listed Lesser Barn and provide two three-bed dwellings. It is considered that the mix of unit sizes would be acceptable within this area.

Issues relating to the impact upon the visual and residential amenity of the area and the Green Belt, the living conditions of future occupiers, and the highways impacts have been discussed elsewhere in this report.

7.02 Density of the proposed development

Not applicable for this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Policy BE8 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) will not permit applications to alter or extend Listed Buildings where damage may be caused to the historic structure. External and internal alternations should harmonise with their surroundings. Policy BE10 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) will not grant permission for proposals that are detrimental to the setting of the Listed Building.

The Lesser Barn is a Grade II Listed Building which has now collapsed; the barn has been dismantled by a specialist contractor, recorded and stored on site for reinstatement; in January 2017 the specialist contractor carried out an updated survey to assess the current condition of the timber frame. The proposed scheme seeks to rebuild and restore the Grade II Listed Lesser Barn in order to allow for its conversion into two three-bedroom dwellings with associated parking and landscaping.

The Conservation Officer has no objection to the proposal which will restore a Grade II Listed Building, reusing the salvaged timbers wherever possible and introducing new timbers where they have been lost. The structural integrity of the timber frame will be restored and will form the core of the new structure.

The full impact of the proposed scheme on the Grade II Listed Lesser Barn has been dealt with through the concurrent Listed Building Consent application (ref: 5971/APP/2013/1839)

7.04 Airport safeguarding

Not applicable for this application.

7.05 Impact on the green belt

Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) does not permit developments in the Green Belt that would injure the visual amenity of the Green Belt by their siting, materials and design.

The derelict appearance of the site, which is increased by the fact that the Lesser Barn has collapsed, causes harm to the visual amenity of the surrounding Green Belt. The proposed scheme would rebuild and restore the Lesser Barn to an acceptable appearance which would improve the visual impact of the site, thereby resulting in an improvement to the visual amenity of the site and the surrounding Green Belt.

The proposal complies with Policy OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.07 Impact on the character & appearance of the area

At the time of the original and subsequent planning applications (refs: 5971/APP/2007/2146 and 5971/APP/2011/2438) the Lesser Barn was in a derelict state, with only the timber frame remaining. Since 2012, the Lesser Barn has collapsed, and as such, the site has had an unsightly impact on the existing street scene and the residential nature of the surrounding area. The proposed scheme seeks to rebuild and restore the existing barn and convert into two residential dwellings which will improve the street scene by restoring the derelict/collapsed barn to an acceptable appearance in compliance with Policies BE13 and BE15 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.08 Impact on neighbours

Policy BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to ensure that new development within residential areas compliments or improves the amenity and character of the area. Policies BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and HDAS: 'Residential Layouts' seek to ensure that new developments maintain and allow adequate levels of daylight and sunlight to penetrate into and between them. Furthermore these policies state that planning permission will not be granted for new developments which by reason of their siting, bulk and proximity, would result in a significant loss of residential amenity.

The scheme would restore the collapsed barn to the height, width and length of the Lesser Barn prior to collapse and so the building would have a similar relationship with the surrounding dwellings in regards to scale, bulk and proximity. Currently the site has an unsightly impact on the residential nature of the surrounding area due to the derelict nature of the site; it is considered that restoration of the Lesser Barn would improve the residential amenity of the site, and so the proposed scheme complies with Policies BE19, BE20 and BE21 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

Policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) requires the design of new developments to protect the privacy of neighbouring dwellings.

Due to the orientation of the building there would not be an issue of overlooking of neighbouring properties to the north and south of the site. In regards to the rear elevation, there are two rooflights that face onto 42 and 43 Hubbards Close. These rooflights should be obscure glazed in order to prevent overlooking of the neighbouring properties and to

accord with Policy BE24 of the Hillingdon Unitary Local Plan: Part Two - Saved UDP Policies (November 2012), it is considered that this can be dealt with by way of a condition on any consent granted.

7.09 Living conditions for future occupiers

Internal Floor Space:

Policy 3.5 of the London Plan sets out minimum internal floor space standards for residential dwellings. Three-bed six person dwellings require 102sq.m of internal floor space. One of the proposed dwellings would be provided with 128sq.m of internal floor space and so complies with Policy 3.5 of the London Plan. Whilst the internal floor space of the other dwelling would fall below the recommended 102sq.m, providing some 95sq.m of internal floor space, in this instance it is considered to be acceptable given the need to restore the Grade II Listed Building.

External Amenity Space:

Policy BE23 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that residential developments should provide adequate external amenity space for occupants. The Council's HDAS: Residential Layouts SPD sets out minimum guidelines for the amount of external amenity space for dwellings. Three-bed dwellings should be provided with 60sq.m of external amenity space.

The proposal would provide two three-bed dwellings and so would require 120sq.m of external amenity space. The development would be provided with 271sq.m of external amenity space, thereby complying with Policy BE23 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the Council's HDAS: Residential Layouts SPD.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Policy AM7 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) considers whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety. Policy AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to ensure that all development is in accordance with the Council's adopted Car Parking Standards.

The Council's Car Parking Standards require the provision of two parking spaces per residential dwelling. The proposal would provide four off-street parking spaces located on the southern part of the site and would use an existing vehicular crossover. The proposed scheme therefore provides two parking spaces per dwellings in accordance with the Council's Car Parking Standards.

The Council's Highways Engineer has assessed the proposed development and considers that subject to conditions relating to cycle and refuse storage, the proposal would be acceptable in regards to parking and traffic generation. As such, the proposal complies with Policies AM7 and AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.11 Urban design, access and security

Urban design:

See Section 7.03 of this report.

Access and security:

Secure by Design principles have been incorporated within the Building Regulations and so

a Secure by Design condition is no longer required.

7.12 Disabled access

Lifetime Homes Standards have been incorporated within the Building Regulations and so a Lifetime Homes condition is no longer required.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks to retain and utilise topographical and landscape features of merit and provide new planting and landscaping when appropriate.

The application site does not contain any landscaping features of merit and the proposed scheme has not provided full landscaping details. However, the Council's Trees/Landscape Officer considers that subject to the provision of tree and landscaping conditions, the application is acceptable in terms of Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.15 Sustainable waste management

Refuse should be stored within an enclosed bin store which should be located near to the highway. Details of refuse storage can be dealt with by way of a condition on any consent granted.

7.16 Renewable energy / Sustainability

In March 2015 the Government removed the requirement for new dwellings, with the exception of 'legacy cases' to comply with the Code for Sustainable Homes. As such, the proposed development is not required to achieve Code for Sustainable Homes.

7.17 Flooding or Drainage Issues

The application site is not located within a flood zone and it is considered that adequate drainage details can be provided by way of a sustainable drainage condition on any consent granted.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

One response was received during the public consultation raising queries over construction and traffic congestion.

Point i) refers to parking during construction and whether it would become resident only parking. There are four existing parking spaces behind existing hoarding around the site which would be retained for use of the proposed dwellings. No additional parking is proposed as the four existing parking spaces are considered adequate for the development. An informative advising that the existing parking spaces should be used for parking by contractors during construction works is recommended.

In regards to Point ii), the impact on traffic has been discussed elsewhere in this report.

Points iii) and iv) refer to minimising disruption during construction and hours of work. This is covered by separate environmental legislation which is set out in the Control of Environmental Nuisance from Construction Work Informative.

Point v) relates to whether there will be a site manager for the development. It would be down to the developer to provide a site manager, which is likely given the type of

development proposed and the historical nature of this Grade II Listed site.

7.20 Planning obligations

As the proposal is for two new dwellings, the scheme would be Mayoral CIL Liabile. The London Borough of Hillingdon falls within Charging Zone 2, therefore, a flat rate fee of £35 per square metre would be required for each net additional square metre added to the site as part of the development.

The proposal would also be liable under the London Borough of Hillingdon's Community Infrastructure Levy (CIL), which was introduced in August 2014. The charging schedule requires a fee of £95 per square metre for residential developments.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

None

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of

opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The application site comprises of the Grade II Listed Hubbards Farm Lesser Barn. The proposal seeks planning permission for the rebuilding and conversion of the Grade II Listed Lesser Barn into two three-bedroom residential units.

The proposed scheme is a re-submission of the 2012 approved application ref: 5971/APP/2011/2438, which has since expired. The Grade II Listed Lesser Barn was previously used as stables which ceased use in 2000. Since this time the Lesser Barn became increasingly derelict and has now collapsed and has been dismantled by a specialist contractor, recorded and stored on site for reinstatement.

The proposed rebuilding of the Lesser Barn would restore a Grade II Listed Building, reusing existing timbers where possible. The conversion of the re-built barn to two residential dwellings would bring the Grade II Listed Lesser Barn back into use whilst retaining the historic character of the building. The proposed residential units would provide adequate living conditions for future occupiers.

The proposed scheme for the rebuilding and conversion of the Grade II Listed Building to two three-bed residential units would not have a detrimental impact on the character and appearance of the street scene and the Green Belt, or on the residential amenity of future occupiers of the site or neighbouring properties.

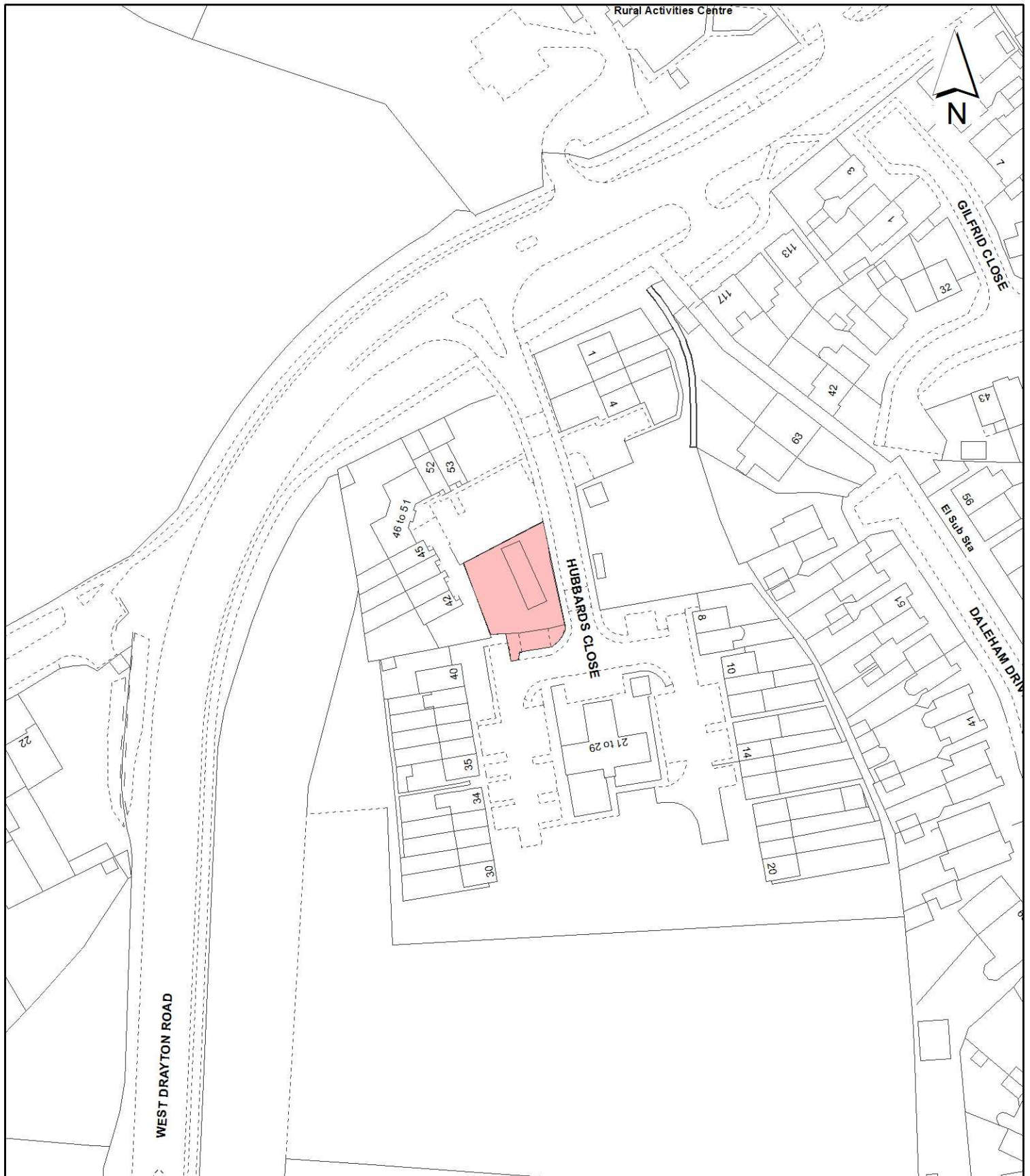
The application complies with Policies BE1, EM2 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies AM7, AM14, BE8, BE10, BE13, BE15, BE19, BE20, BE21, BE23, BE24, H4 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). The application is therefore recommended for approval subject to a Section 106 Agreement. The associated Listed Building Consent ref: 5971/APP/2012/122 has also been recommended for approval subject to a Section 106 Agreement.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
The London Plan (2016)
HDAS: Residential Layouts SPD
HDAS: Accessible Hillingdon SPD
National Planning Policy Framework

Contact Officer: Katherine Mills

Telephone No: 01895 250230



Notes:

 Site boundary

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Site Address:

**Lesser Barn
 Hubbards Close**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
5971/APP/2016/3922

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

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Plans for Central & South Applications Planning Committee

Tuesday 21st March
2017



HILLINGDON
LONDON



INVESTOR IN PEOPLE

www.hillingdon.gov.uk

Report of the Head of Planning, Sport and Green Spaces

Address 1 COLLINGWOOD ROAD HILLINGDON
Development: Change of use from single dwelling house (Use Class C3) to 6 person House of Multiple Occupancy (Use Class C4)
LBH Ref Nos: 57541/APP/2016/2713

Date Plans Received:	13/07/2016	Date(s) of Amendment(s):	08/11/2016
Date Application Valid:	01/08/2016		29/07/2016
			13/07/2016

1, Collingwood Road, Uxbridge, Hillingdon, UB8 3EH

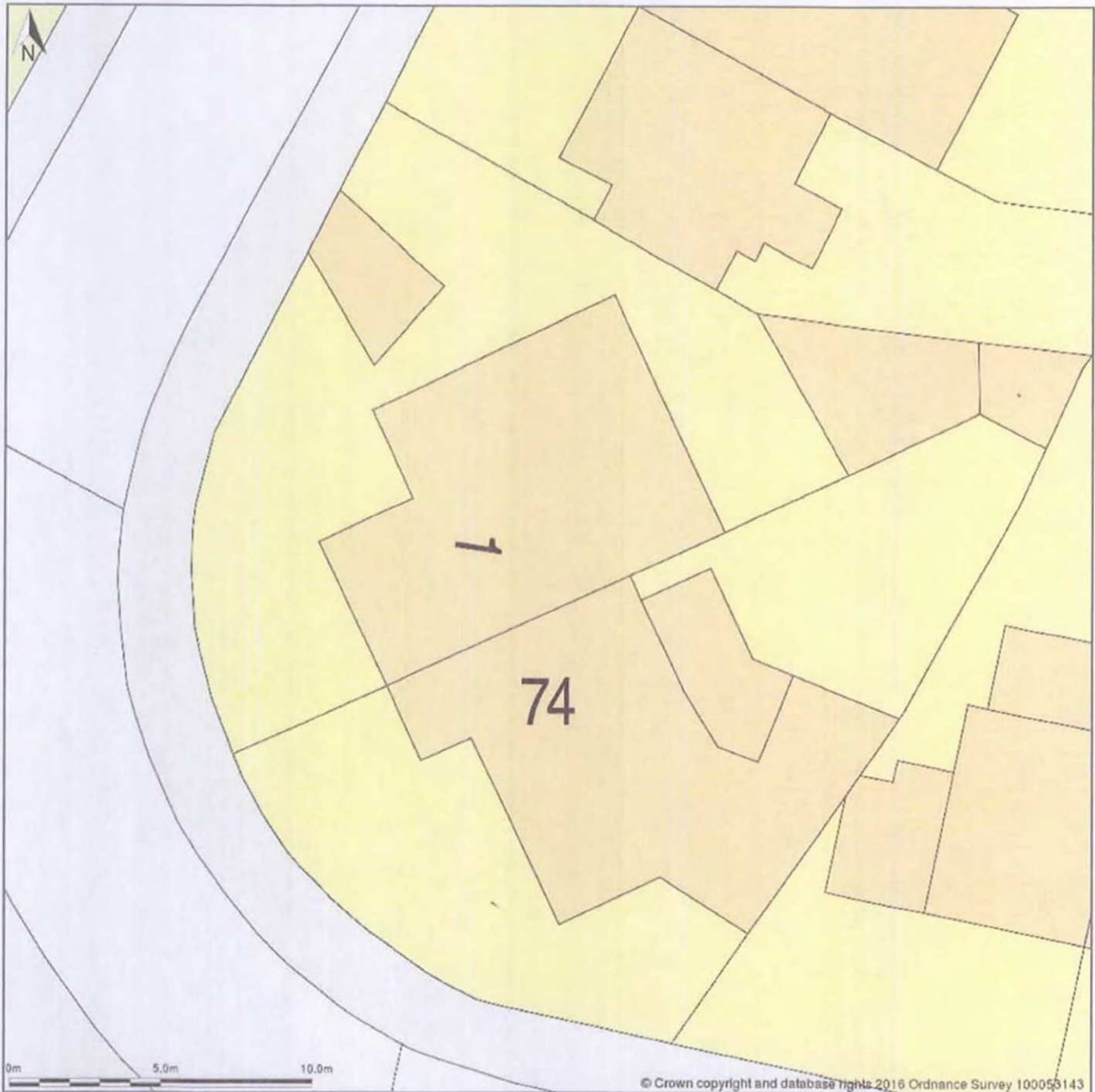


Site Plan shows area bounded by: 507805.0, 181874.0 508005.0, 182074.0 (at a scale of 1:1250) The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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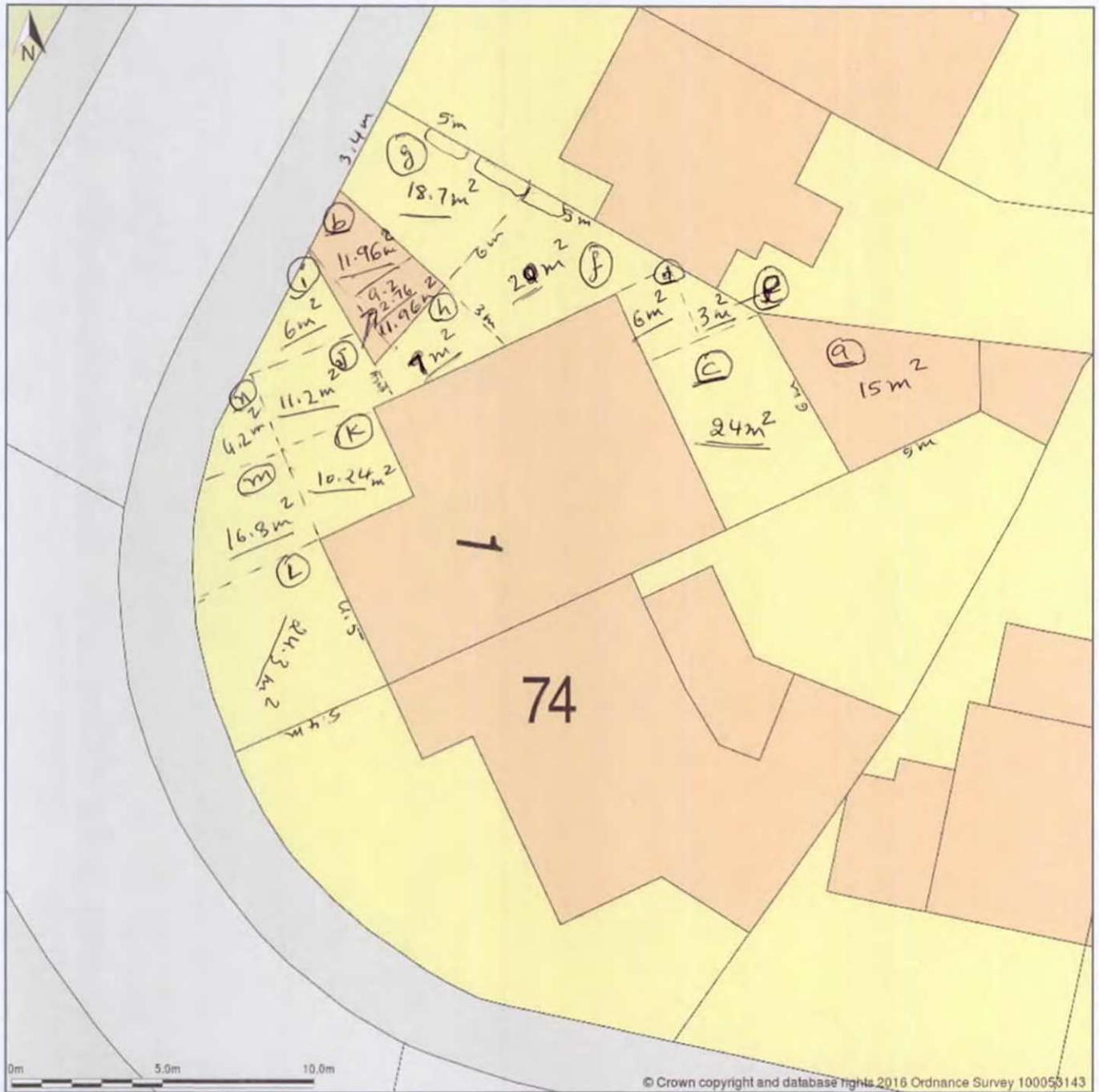


Block Plan shows area bounded by: 507887.0, 181956.0 507923.0, 181992.0 (at a scale of 1:200) The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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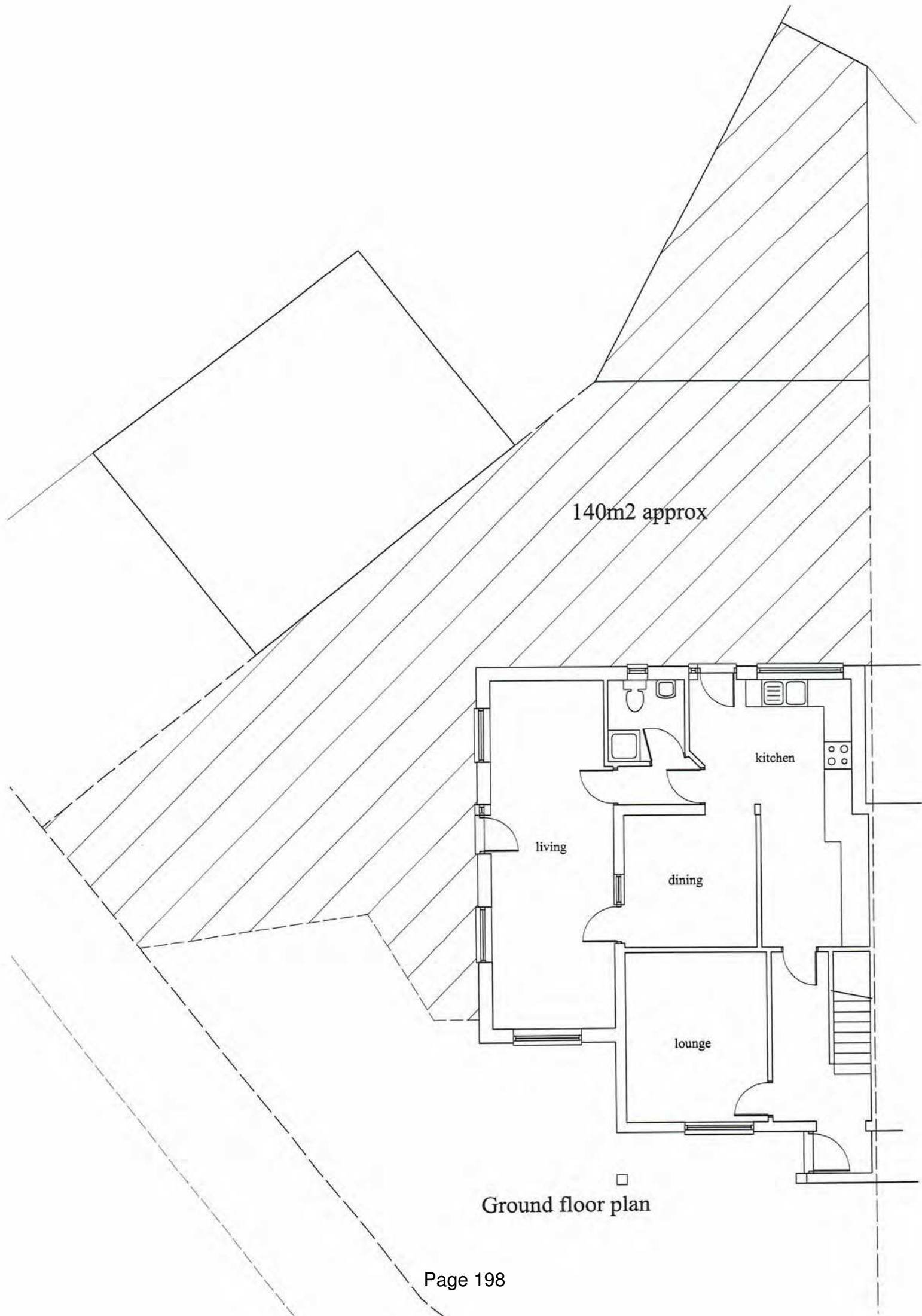


Block Plan shows area bounded by: 507887.0, 181956.0 507923.0, 181992.0 (at a scale of 1:200) The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

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Sheds - $a + b = 15 + 11.96 \text{ m}^2 = 29.96 \text{ m}^2$
 Area excluding Sheds $c + d + e + f + g + h + i + j + k + l + m + n$
 $24 + 6 + 3 + 20 + 18.7 + 7 + 6 + 11.2 + 10.24 + 24.3 + 16.8 + 4.2$
 $= 151.44 \text{ m}^2$
 Car 3 spaces - Area (g and f) = $27 \text{ m}^2 + 10.7 \text{ m}^2$ (3 cars + area around them)
 Amenity space = 29.96 m^2 (Both sheds to be used as common rooms)
 garden space = 112.74 ($151.44 - 38.7 \text{ m}^2 = 112.74$) = 142.7 m^2



140m2 approx

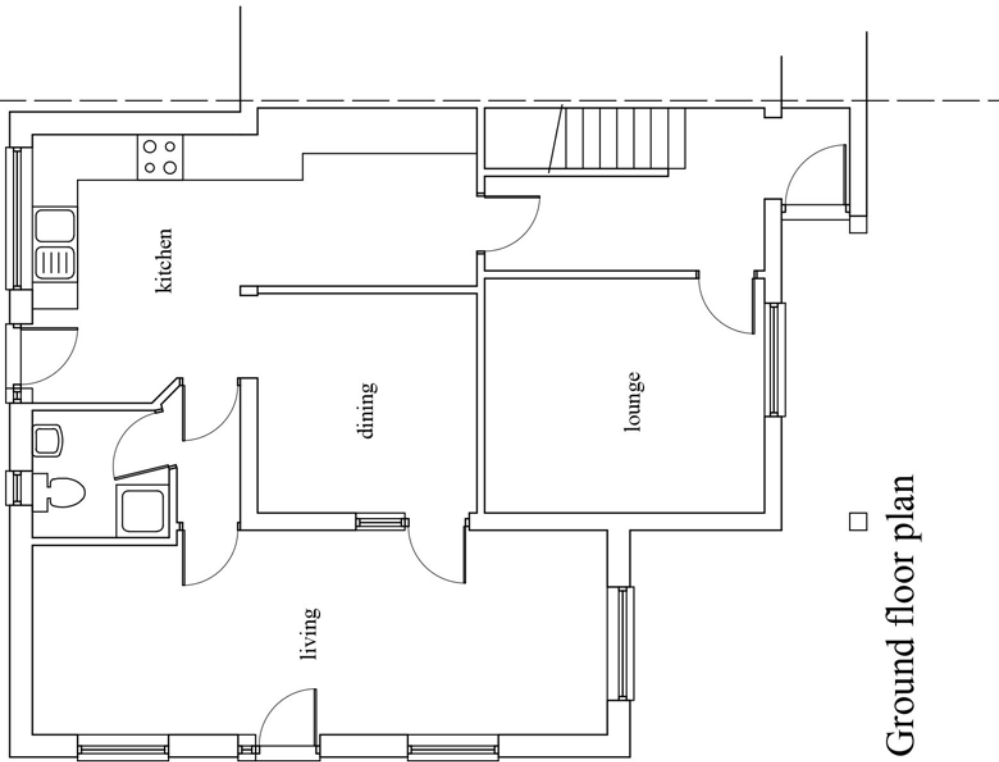
living

dining

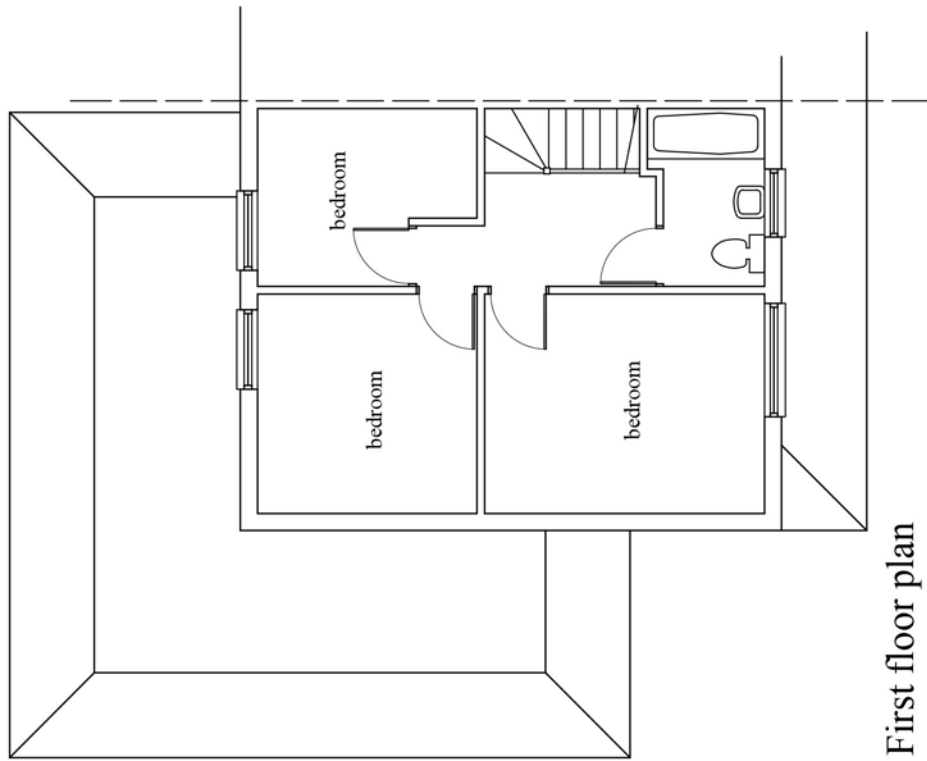
lounge

kitchen

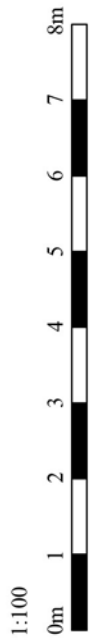
Ground floor plan



Ground floor plan



First floor plan



Revisions:

ABA Chartered Surveyors
 49 The Green, Southall UB2 4AR

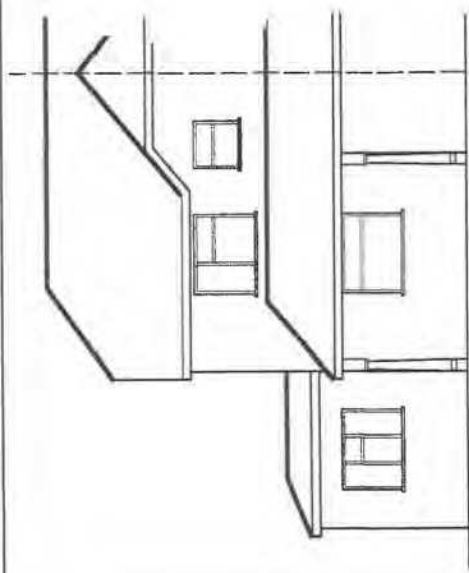
email:aba@aujla.co.uk
 Tel: 020 8574 3535

scale 1:100 @A4
 date 26/07/16

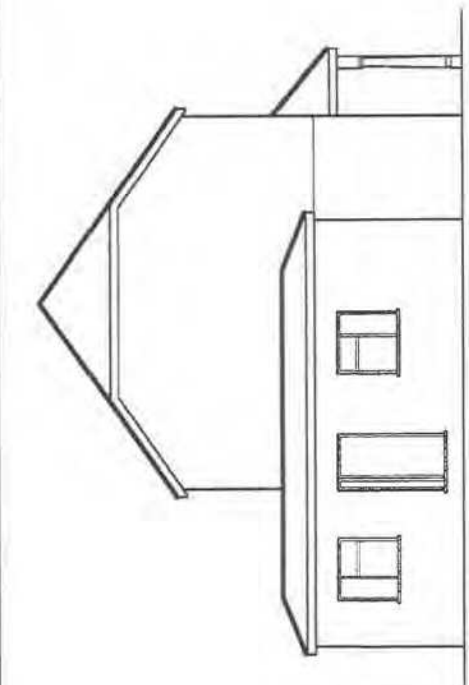
title
 Existing floor plans.

drg no
 1638-ex-01

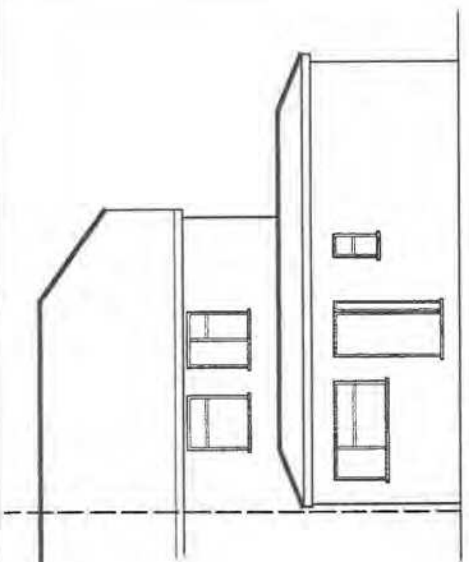
site
 1 Collingwood Road, Hayes.



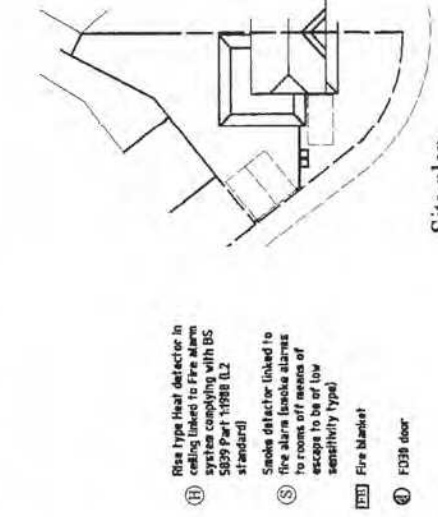
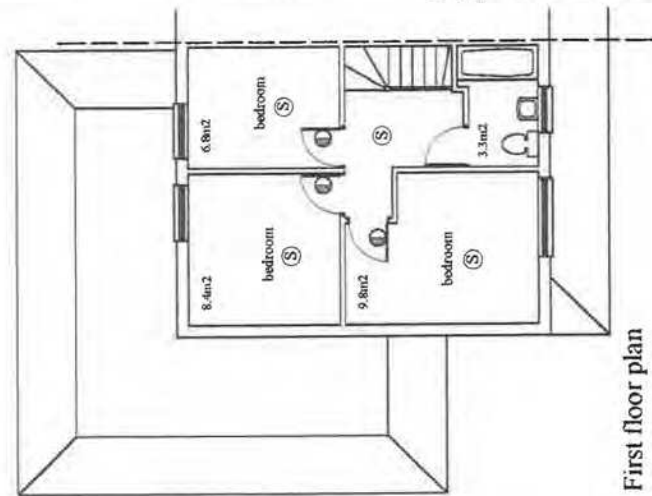
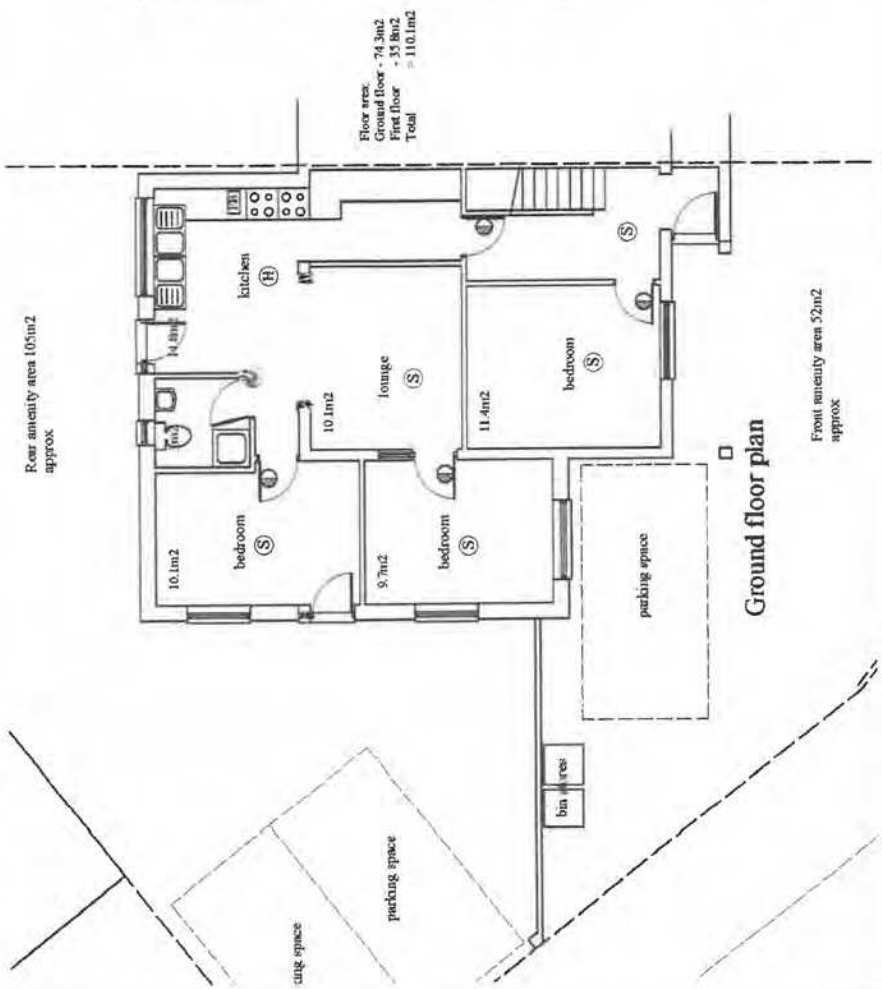
Front elevation



Side elevation



Rear elevation



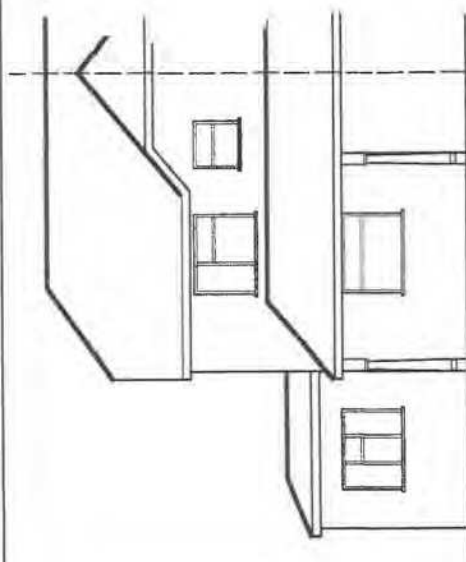
- (H) Rise type Heat detector in ceiling linked to fire alarm system complying with BS 5829 Part 1:1998 (L2 standard)
- (S) Smoke detector linked to fire alarm (smoke alarms to rooms off means of escape to be of low sensitivity type)
- (FD) Fire Mains
- (F) F333 door



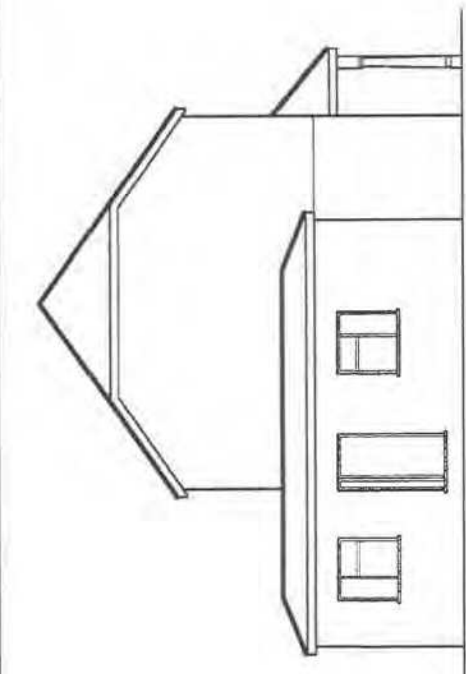
Revisions: | B Lounge revised 08/11/16
| A Parking, floor areas and bin stores indicated 29/09/16

ABA Chartered Surveyors
49 The Green, Southall, UB2 4AR
email: aba@anjia.co.uk
Tel: 020 8574 3535

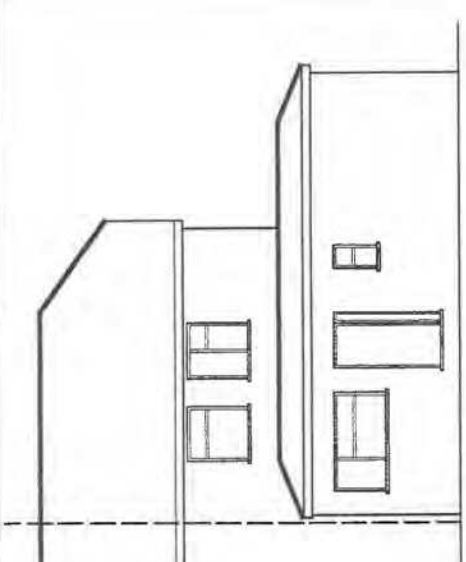
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date 26/07/16	Floor plans & elevations.
drwg no 1638-pl-01	site
rev B	1 Collingwood Road, Hayes.



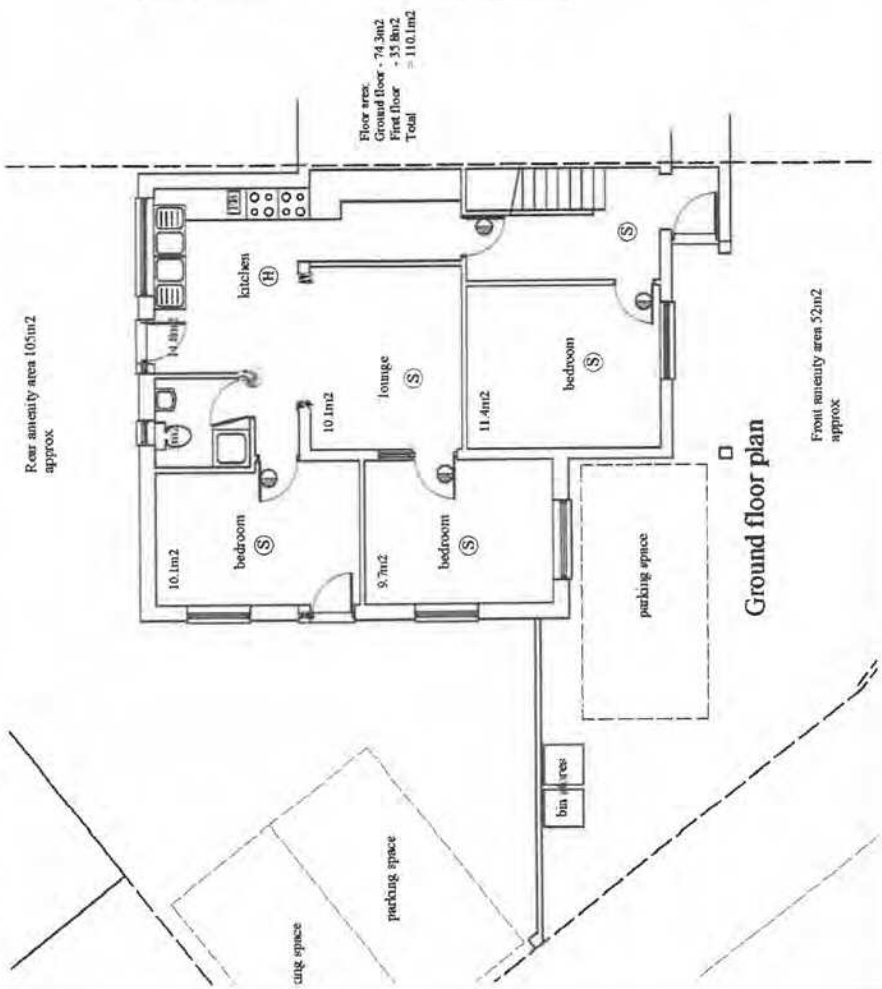
Front elevation



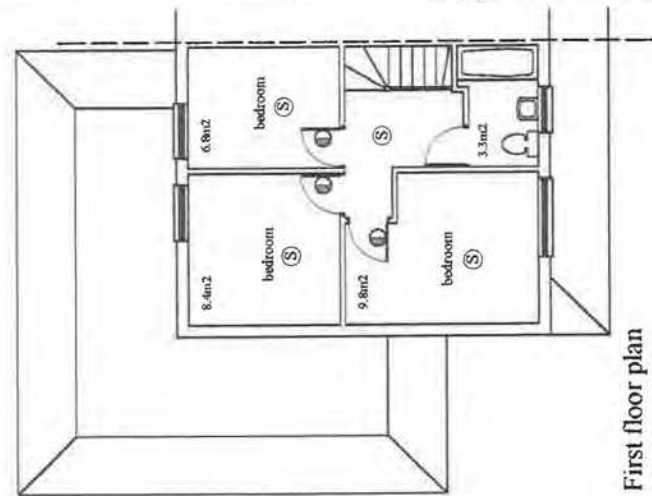
Side elevation



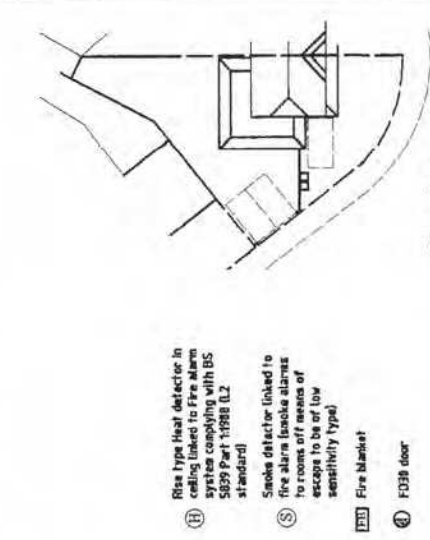
Rear elevation



Ground floor plan



First floor plan



Site plan
1:500

- (H) Rise type Heat detector in ceiling linked to fire alarm system complying with BS 5839 Part 1 (BS88 IL2 standard)
- (S) Smoke detector linked to fire alarm (smoke alarms to rooms off means of escape to be of low sensitivity type)
- (FD) Fire Mains
- (F) F333 door



Revisions:	B	Lounge revised	08/11/16
	A	Parking, floor areas and bin stores indicated	29/09/16
ABA Chartered Surveyors 49 The Green, Southall, UB2 4AR email: aba@anjia.co.uk Tel: 020 8574 3535			
scale	1:100 @ A3	title	Floor plans & elevations.
date	26/07/16	site	1 Collingwood Road, Hayes.
drwg no	1638-pl-01	rev	B



Notes:

 Site boundary

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Site Address:

1 Collingwood Road

LONDON BOROUGH OF HILLINGDON
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

57541/APP/2016/2713

Scale:

1:1,250

Planning Committee:

Central & South

Date:

March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address 3 FIELD WAY COWLEY UXBRIDGE

Development: Part two storey, part single storey rear extension and first floor side extension

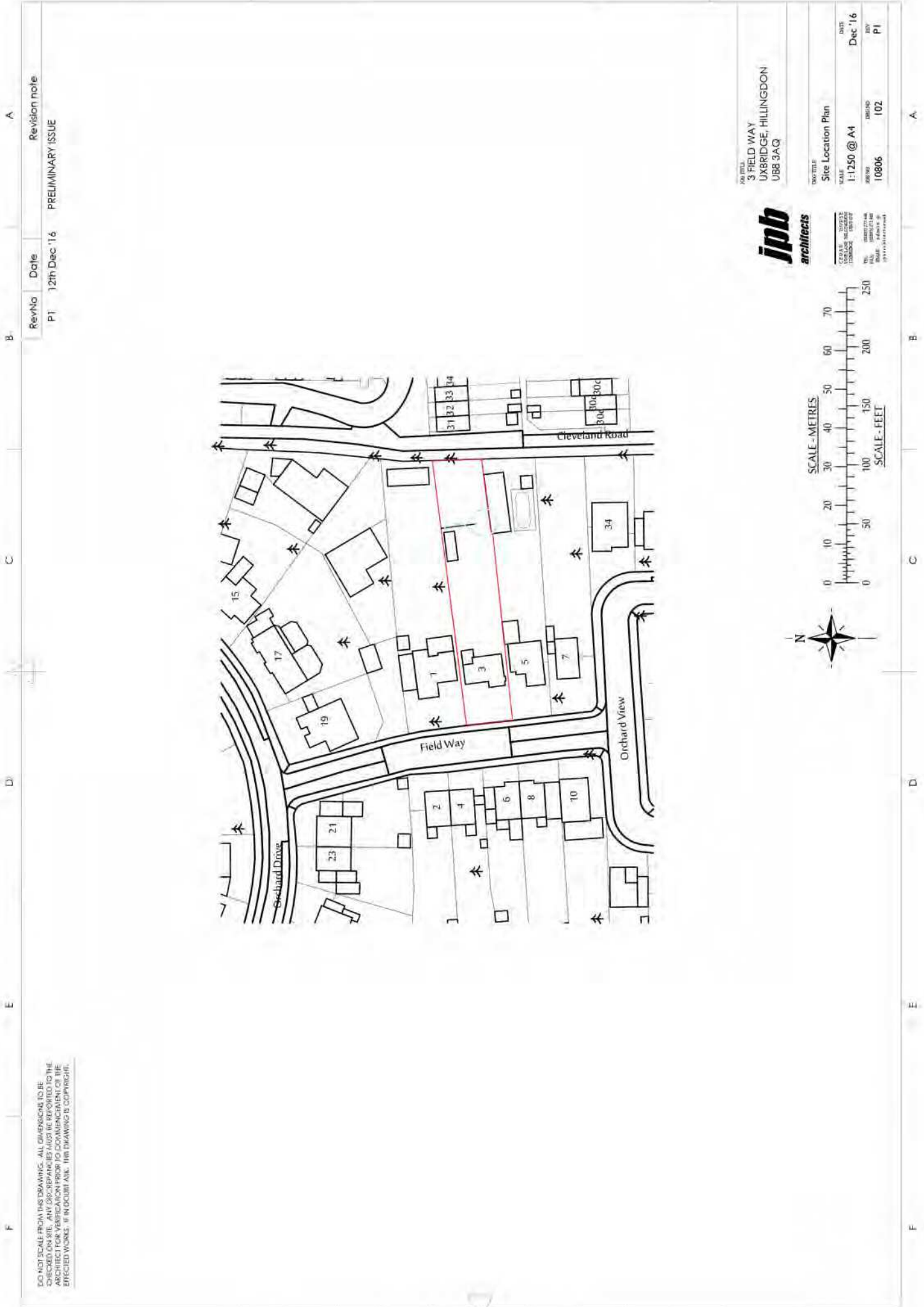
LBH Ref Nos: 16250/APP/2016/4408

Date Plans Received: 07/12/2016

Date(s) of Amendment(s): 07/12/2016

Date Application Valid: 13/12/2016

12/12/2016



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RevNo	Date	Revision note
P1	12th Dec '16	PRELIMINARY ISSUE

JOB TITLE
 3 FIELD WAY
 UXBRIDGE, HILLINGDON
 UBB 3AQ



DATE
 12/12/16
 108006
 108006
 102
 PI



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Rev No Date Revision note
P1 07th Dec '16 Preliminary issue.

Field Way

Page 205



3 FIELD WAY
UXBRIDGE
HILLINGDON
UB8 3AQ

ipb
architects

3 FIELD WAY
UXBRIDGE
HILLINGDON
UB8 3AQ

SCALE: 1:200 @ A3
JOB NO: 10806
DWG NO: 101
REV: P1
DATE: Dec '16

HOUSE
CELEBRATION
12/2006
TEL: 01895 271446
EMAIL: info@ipb.co.uk
IPB ARCHITECTS



EXISTING BLOCK PLAN
SCALE 1:200





Date	09th Nov '16	RevNo	P1	Revision note	Preliminary Issue
------	--------------	-------	----	---------------	-------------------



ipb
architects

JOB TITLE
3 FIELD WAY
UXBRIDGE
HILLINGDON
UB8 3AQ

DRG TITLE
Existing Plans

SCALE
1:100 @ A2

JOB NO.
10806

DRG NO.
110

DATE
OCT'16

REV
PI

CLARK WOOD
UXBRIDGE
TEL: (01895) 272 444
FAX: (01895) 272 480
EMAIL: admin@ipbarchitects.co.uk

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Revision note:

Rev No	Date
P1	09th Nov '16
P2	07th Dec '16

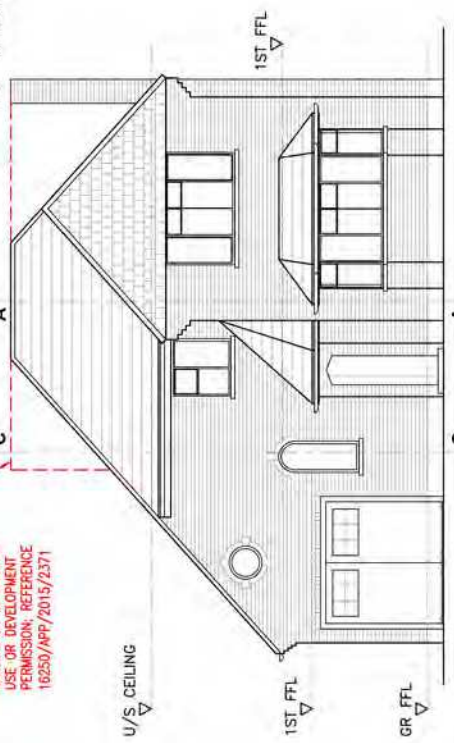
Preliminary Issue.
References to 2015 planning permission added to layout

DENOTES OUTLINE OF PROPOSALS AS PER CERTIFICATE OF LAWFUL USE OR DEVELOPMENT PERMISSION; REFERENCE 16250/APP/2015/2371

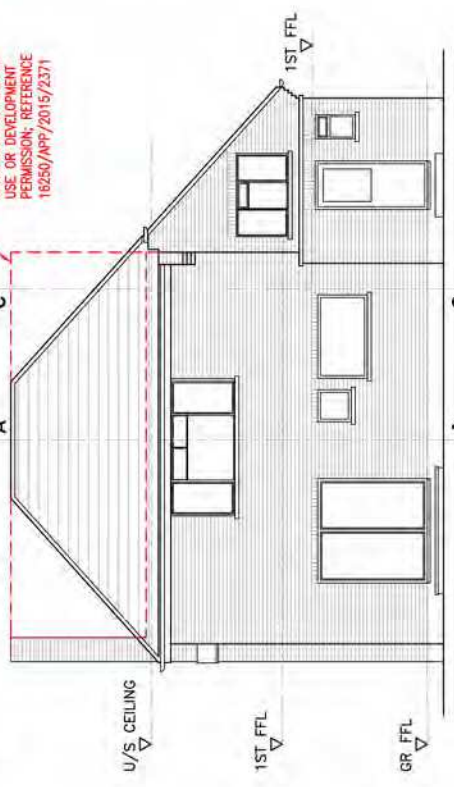
DENOTES OUTLINE OF PROPOSALS AS PER CERTIFICATE OF LAWFUL USE OR DEVELOPMENT PERMISSION; REFERENCE 16250/APP/2015/2371

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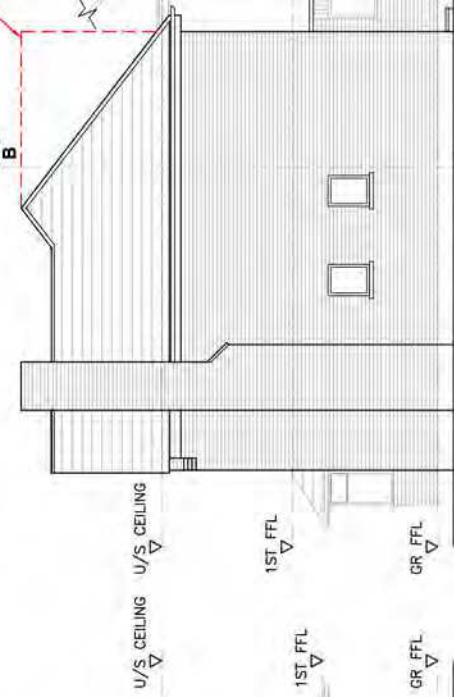
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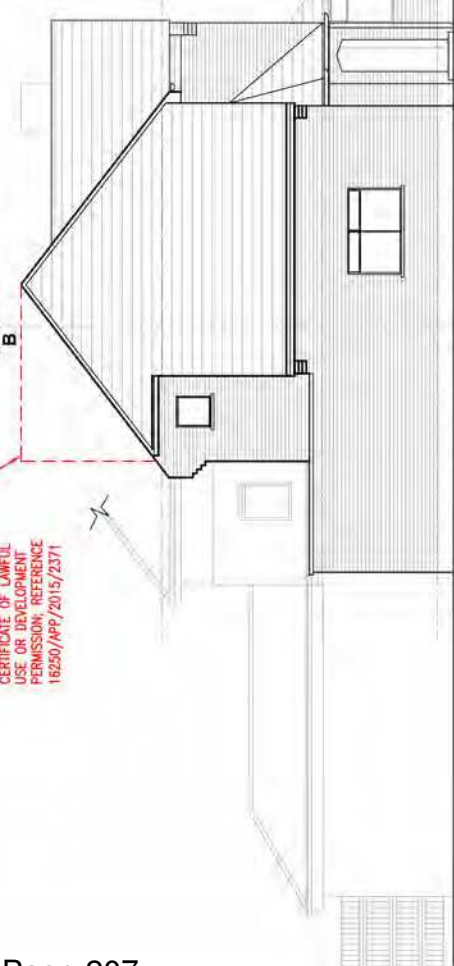
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION (FACING NO. 5 FIELD WAY)



EXISTING SIDE ELEVATION (FACING NO. 1 FIELD WAY)

JOB TITLE
3 FIELD WAY
UXBRIDGE
HILLINGDON
UB8 3AQ



DWG TITLE
Existing Elevations

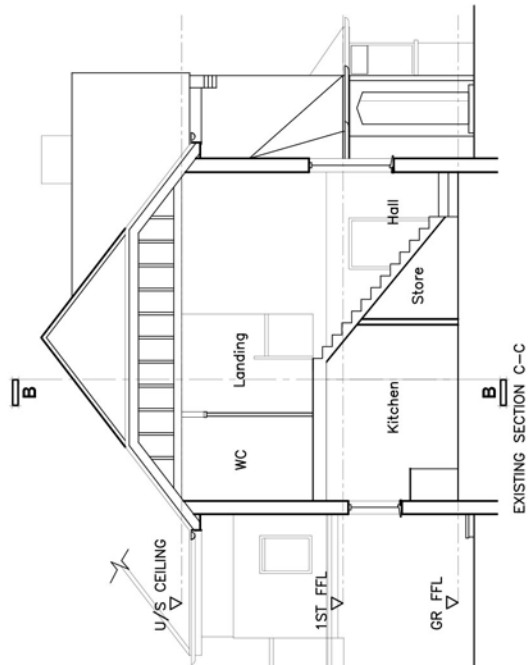
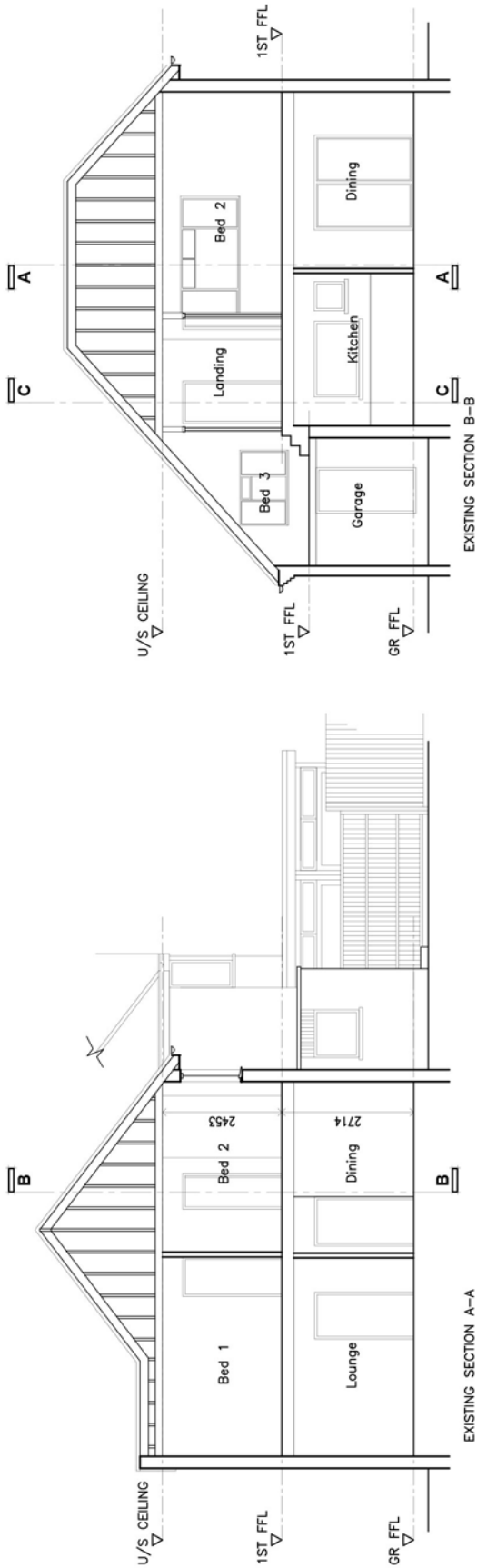
SCALE	DATE
1:100 @ A3	Oct '16
DWG NO 10806	REV P2



CLIENT: HILLINGDON
PROJECT: 3 FIELD WAY
DATE: 09/11/16
TEL: 01895 77446
EMAIL: info@ipb.co.uk
PAYMENT@IPB.CO.UK

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Rev No Date
 P1 09th Nov '16
 Revision note
 Preliminary issue.



JOB TITLE
 3 FIELD WAY
 UXBRIDGE
 HILLINGDON
 UB8 3AQ

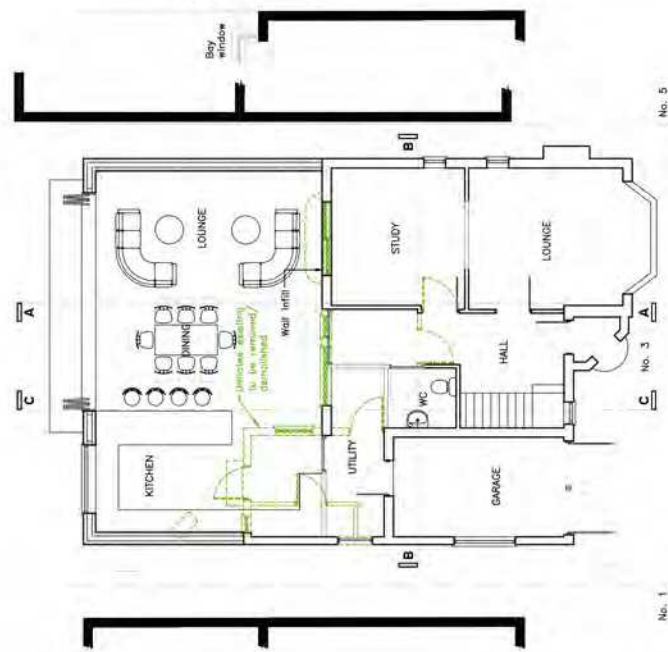
DRG TITLE
 Existing Sections

SCALE	DATE
1:100 @ A3	Oct '16
JOB NO.	DRG NO.
10806	120
REV	P1

HOUSE
 CEDAR HILLINGDON
 UXBRIDGE
 TEL: (01895) 272 446
 FAX: (01895) 272 447
 EMAIL: admin@jpbarchitect.co.uk
 jpbarchitect.co.uk

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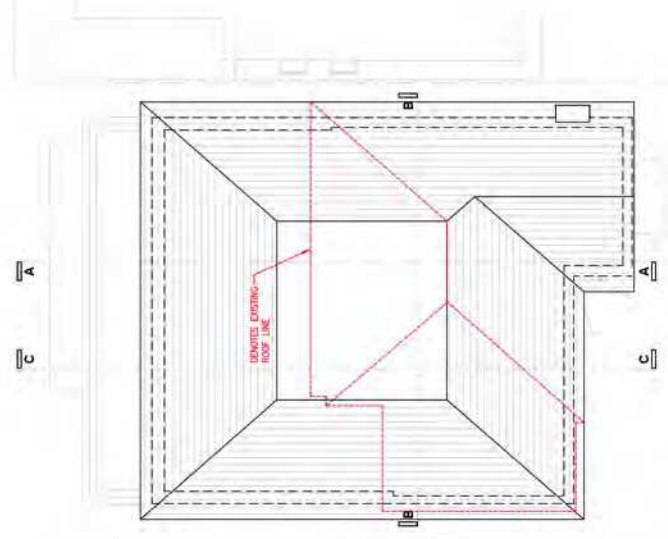
Date	Revno	Revision note
09th Nov 16	P1	Preliminary Issue
30th Jan 17	P2	Proposed depth of ground and first floor reduced.



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED ROOF PLAN



ipb architects

JOB TITLE
3 FIELD WAY
UXBRIDGE
HILLINGDON
UB8 3AQ

DRG TITLE	Proposed Plans	SCALE	JOB NO	DRG NO	DATE
		1:100 @ A2	10806	130	OCT 16
					REV P2

CELANO BUILDERS
3 FIELD WAY
UXBRIDGE
UB8 3AQ
TEL: 01895 272 444
FAX: 01895 272 443
EMAIL: info@ipb.co.uk
ipbarchitects.co.uk

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Revision note:

Preliminary issue.
 Rainwater downpipes for new extension rear extension revised. Reference to 2015 planning permission added to layout
 Proposal depth of ground and first floors reduced.

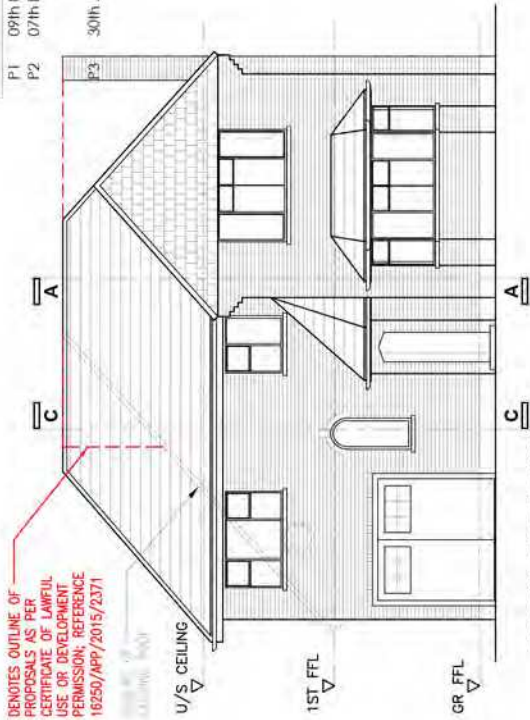
Rev No	Date
P1	09th Nov '16
P2	07th Dec '16
P3	30th Jan '17

DENOTES OUTLINE OF PROPOSALS AS PER CERTIFICATE OF LAWFUL USE OR DEVELOPMENT PERMISSION; REFERENCE 16250/APP/2015/2371

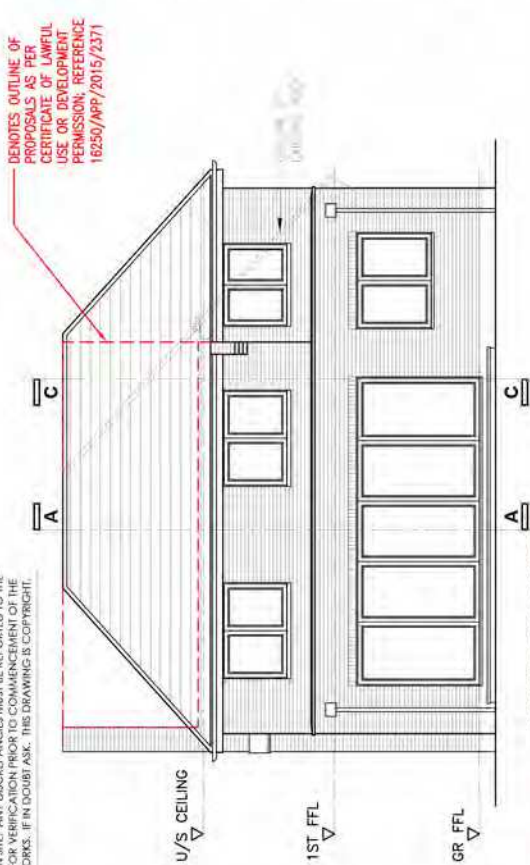
DENOTES OUTLINE OF PROPOSALS AS PER CERTIFICATE OF LAWFUL USE OR DEVELOPMENT PERMISSION; REFERENCE 16250/APP/2015/2371

DENOTES OUTLINE OF PROPOSALS AS PER CERTIFICATE OF LAWFUL USE OR DEVELOPMENT PERMISSION; REFERENCE 16250/APP/2015/2371

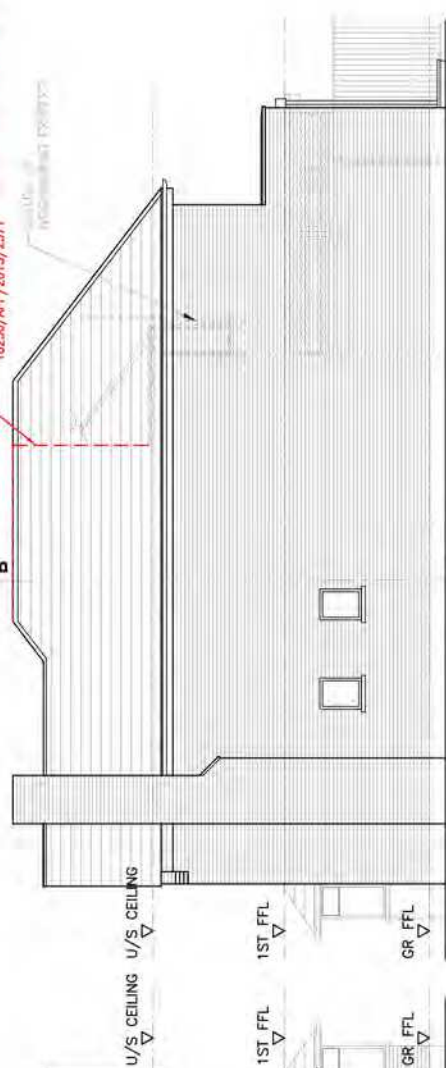
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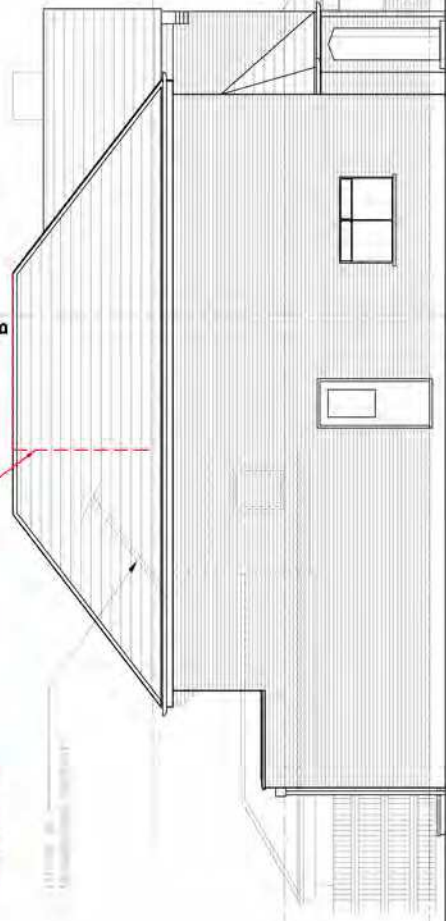
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION (FACING NO. 1 FIELD WAY)



PROPOSED SIDE ELEVATION (FACING NO. 5 FIELD WAY)

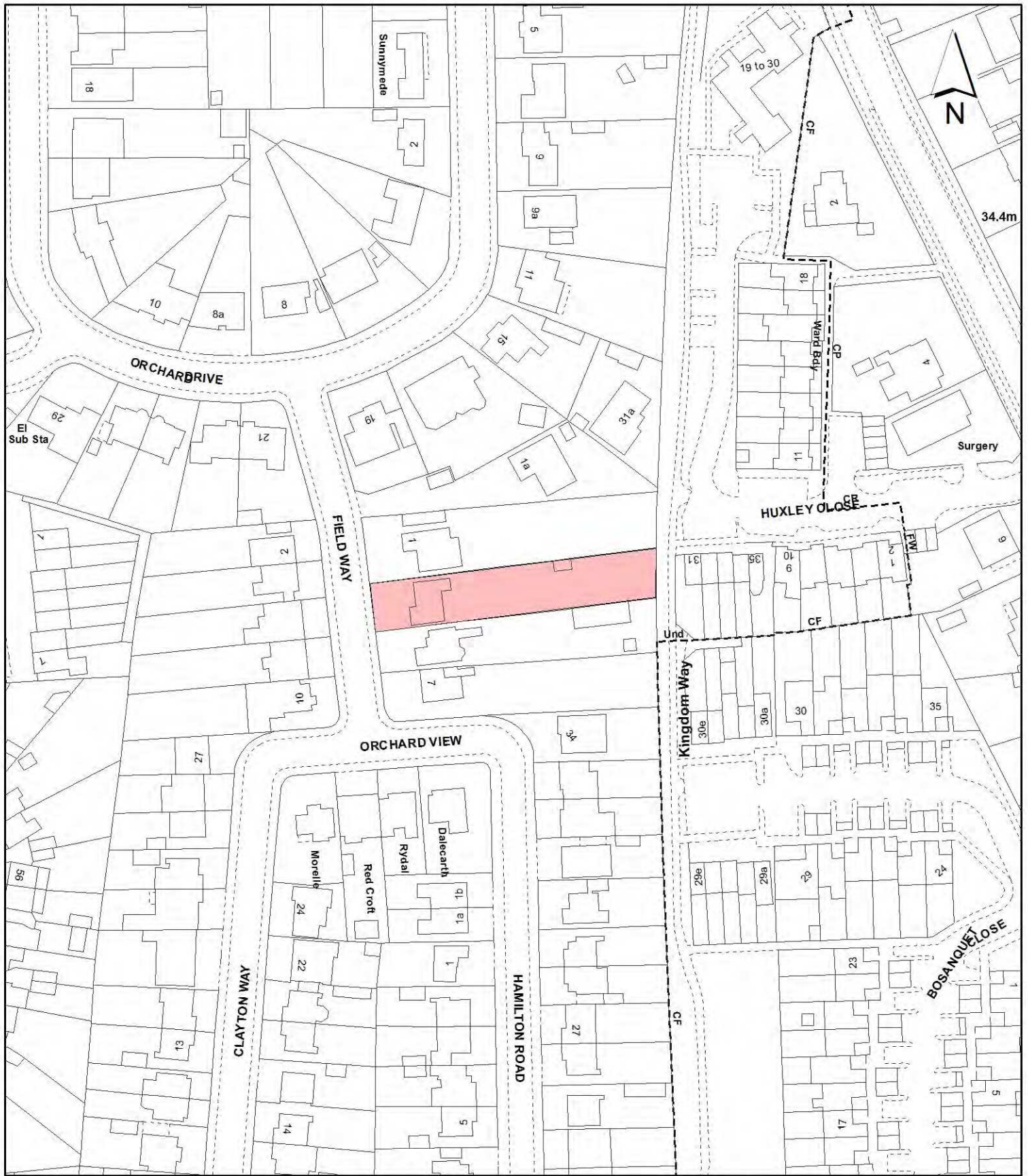
JOB TITLE
 3 FIELD WAY
 UXBRIDGE
 HILLINGDON
 UB8 3AQ



DWG TITLE
 Proposed Elevations
 SCALE
 1:100 @ A3
 JOB NO
 10806
 DATE
 Oct '16
 REV
 P3



CELESTIAL INFORMATION
 HOUSE NUMBER
 ADDRESS
 TEL: (01895) 773 446
 EMAIL: admin@ipb.co.uk
 IPADDRESS: 192.168.1.1



Notes:

 Site boundary

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Site Address:

3 Field Way

Planning Application Ref:

16250/APP/2016/4408

Planning Committee:

Central & South

Scale:

1:1,250

Date:

March 2017

LONDON BOROUGH OF HILLINGDON
Residents Services Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

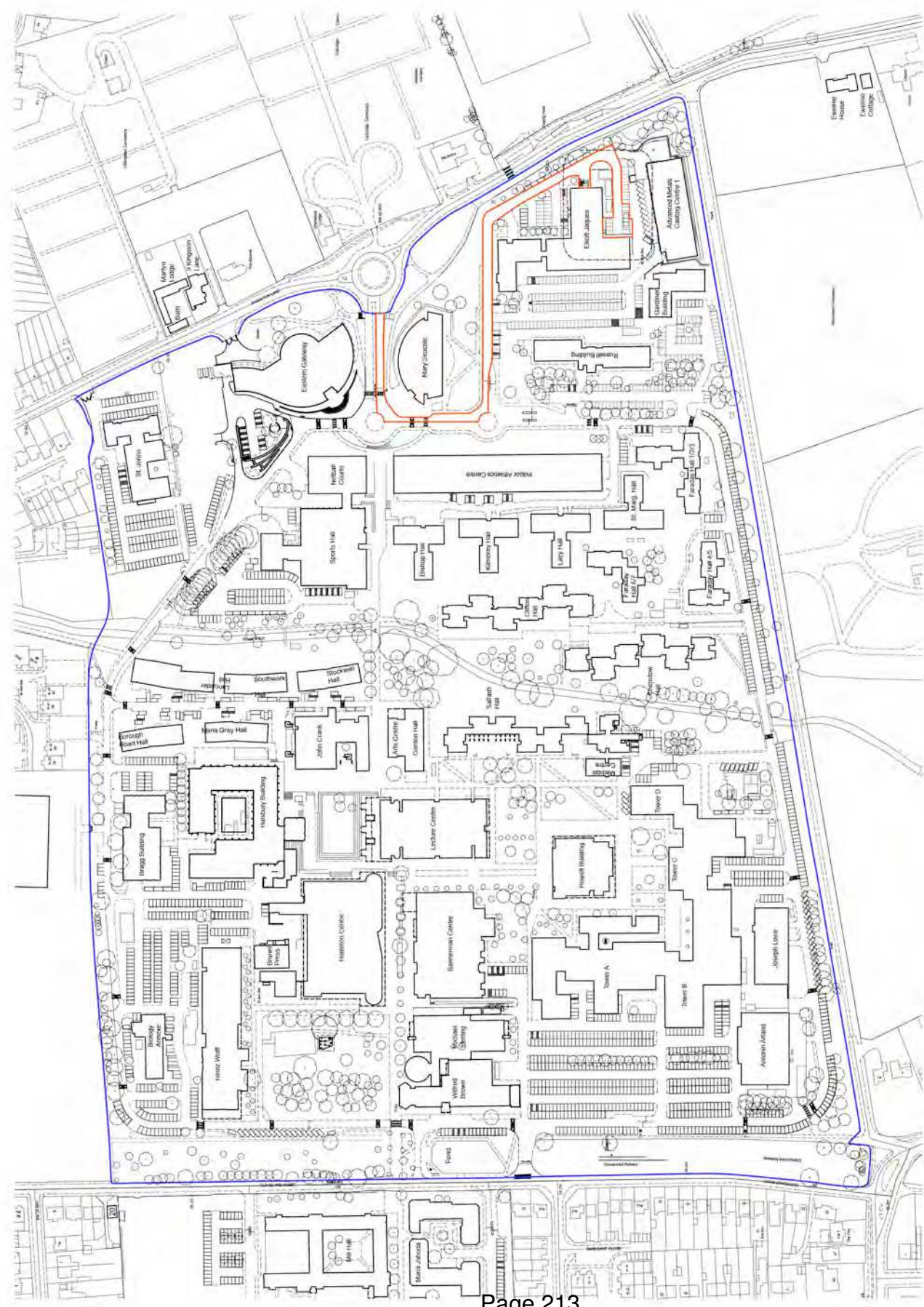


HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address BRUNEL UNIVERSITY KINGSTON LANE HILLINGDON
Development: Single storey rear extension, plant enclosure, vehicle access gates, ramp and new fencing
LBH Ref Nos: 532/APP/2016/4572

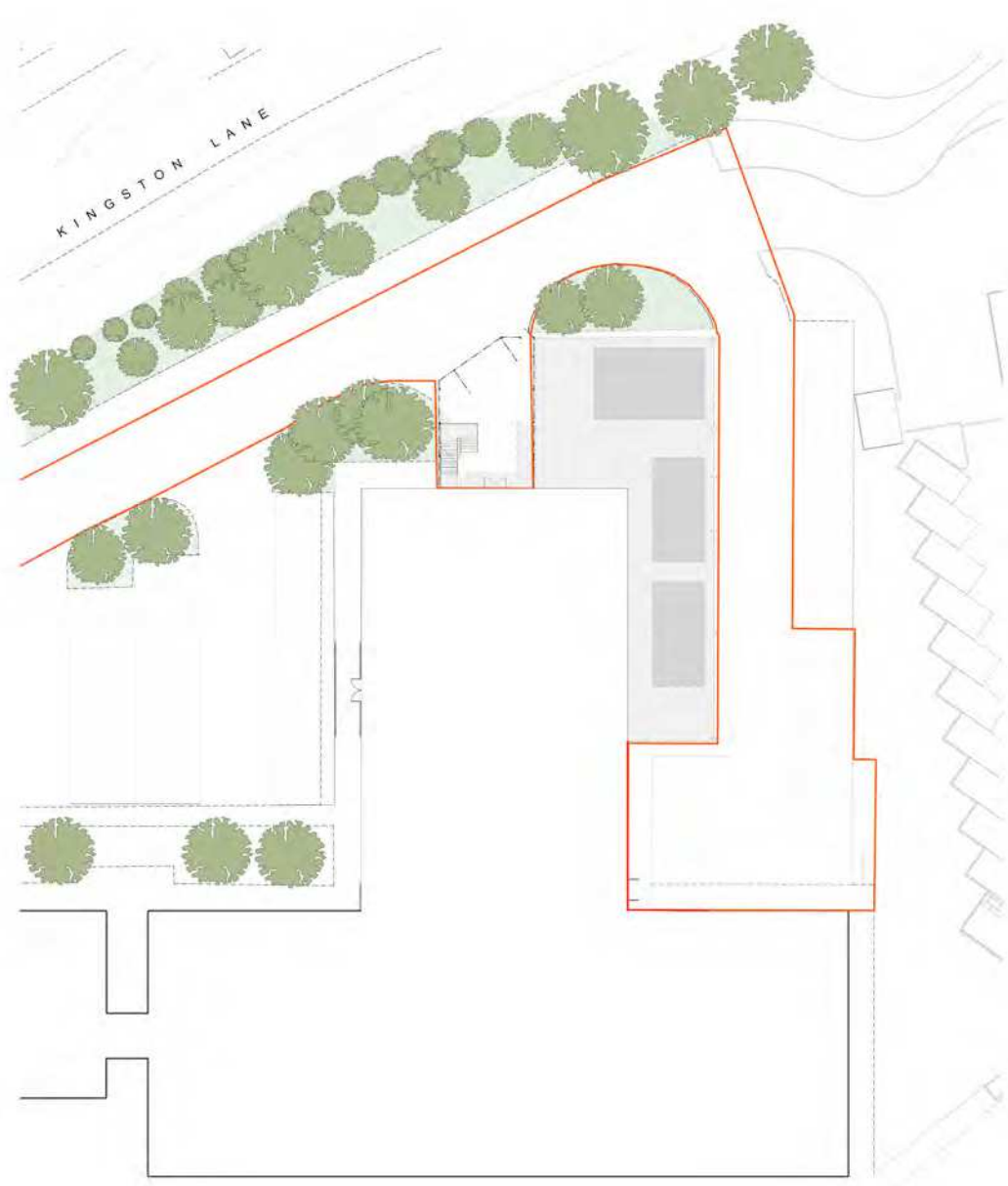
Date Plans Received: 20/12/2016 **Date(s) of Amendment(s):**
Date Application Valid: 06/01/2017



LEGEND:

- Campus Boundary
- Proposed Site Boundary including Access from Public Highway 2545 sqm



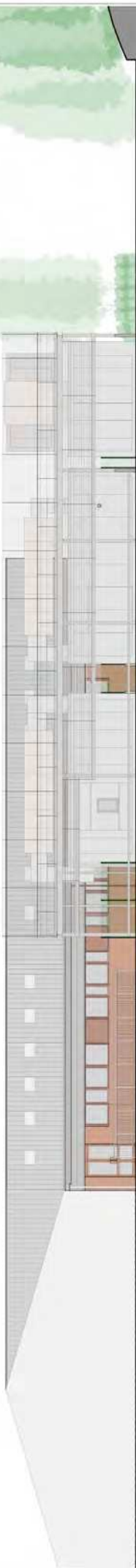




ELLIOTT JACQUES BUILDING



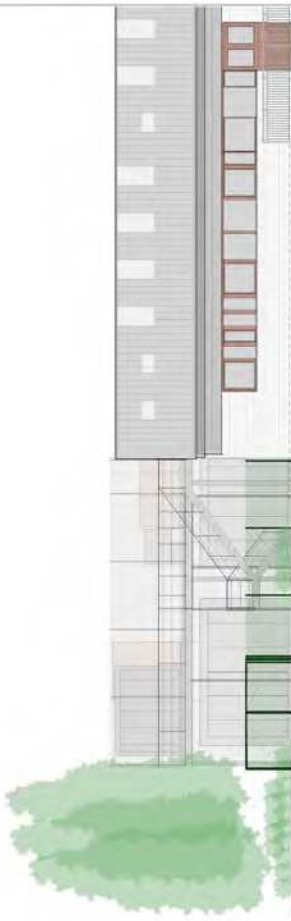
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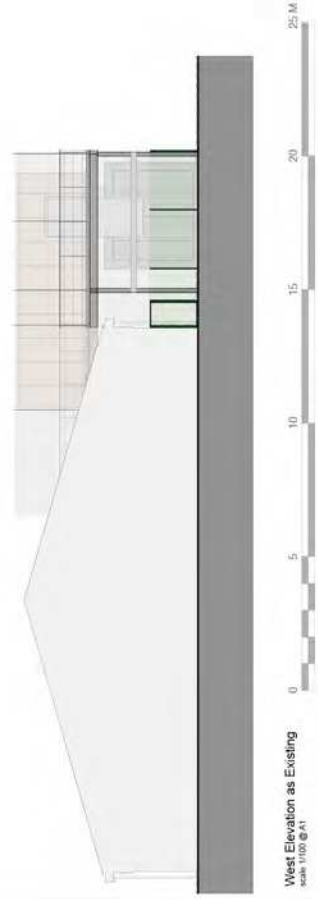
South Elevation as Existing
Scale 1/100 @ A1



East Elevation as Existing
Scale 1/100 @ A1



North Elevation as Existing
Scale 1/100 @ A1

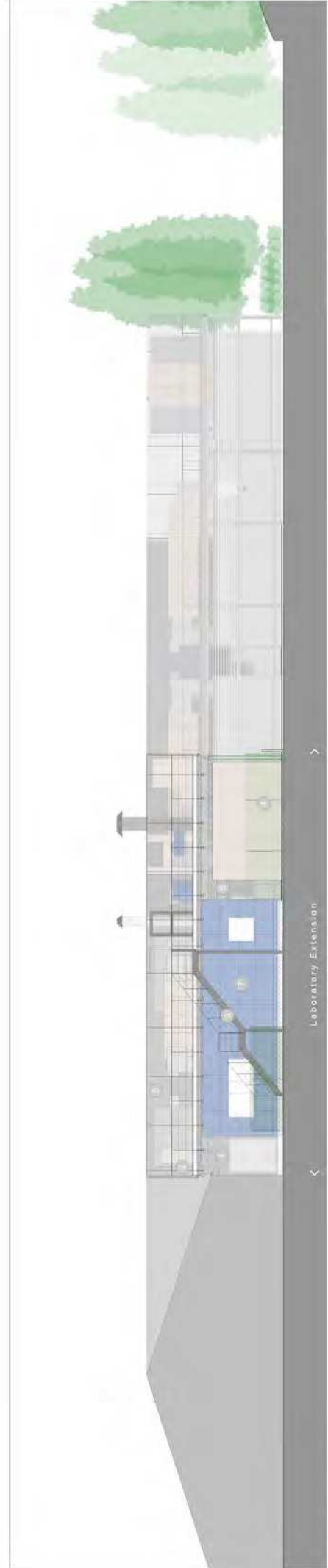


West Elevation as Existing
Scale 1/100 @ A1

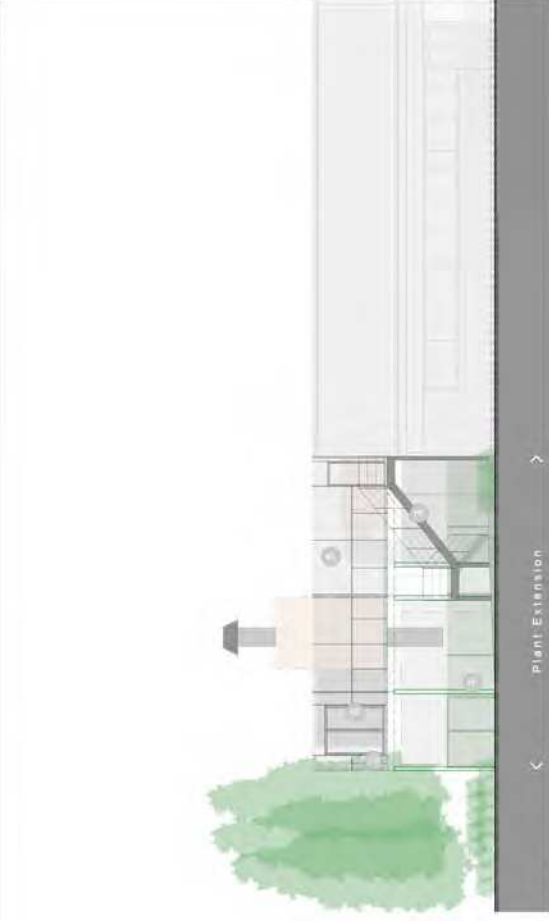


Kendall Kingscott
 Chartered Architects
 Chartered Building Surveyors
 Chartered Project Managers
 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000

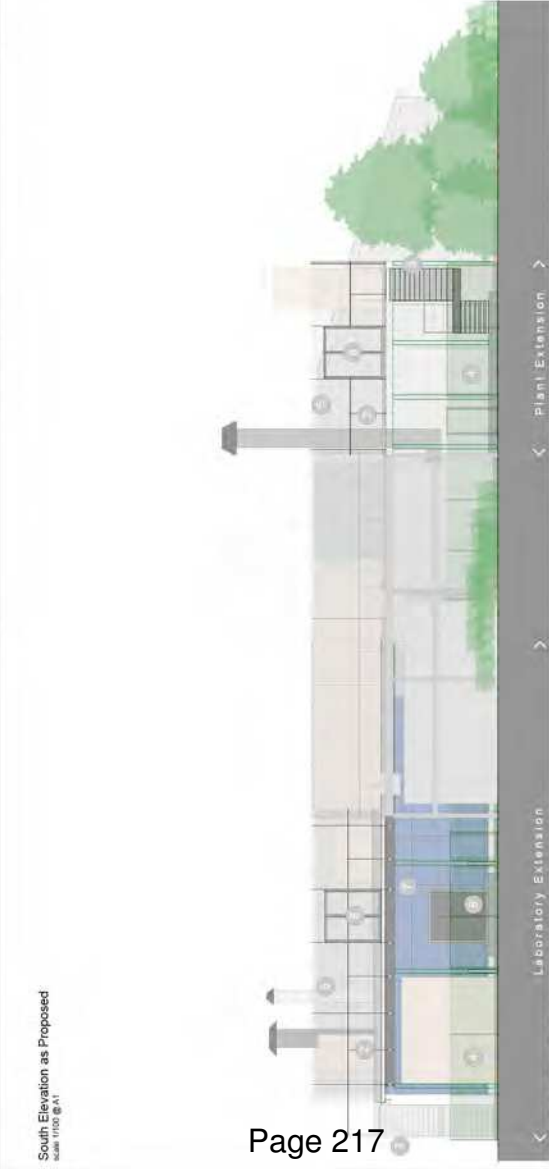
Project: CSRF Extension Phase 3
 Existing Elevations
 Client: Brunel University London
 Project No: 160665 P(0)03
 Issue: 01
 Date: 27/07/19
 Author: AJ
 Checked: CS
 Approved: PLANNING
 Scale: 1/100 @ A1
 Date: 27/07/19



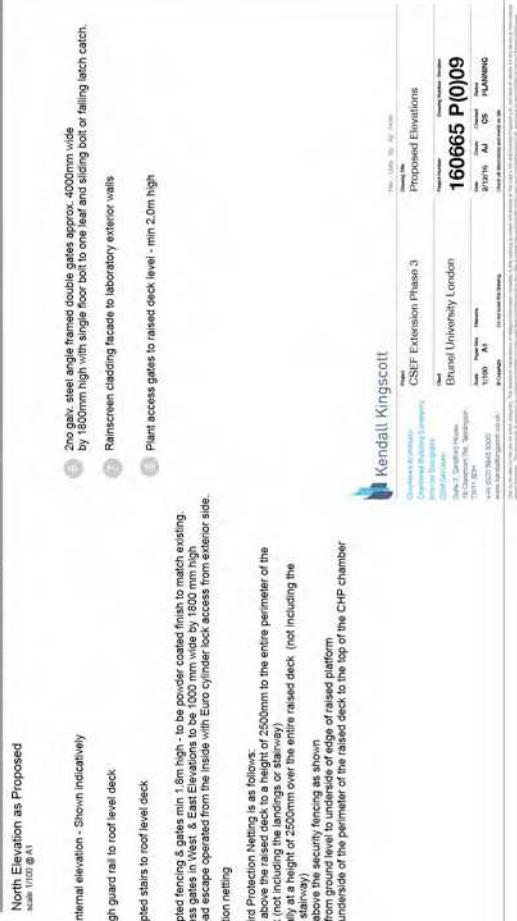
South Elevation as Proposed
scale 1:100 @ A1



North Elevation as Proposed
scale 1:100 @ A1



East Elevation as Proposed
scale 1:100 @ A1



West Elevation as Proposed
scale 1:100 @ A1



- 1 Link lobby internal elevation - Shown indicatively
 - 2 1200mm high guard rail to roof level deck
 - 3 New & Adapted stairs to roof level deck
 - 4 New & adapted fencing & gates min 1.8m high - to be powder coated finish to match existing. Single access gates in West & East Elevations to be 1800mm high & 1000mm wide with push/pull escape operated from the inside with Euro Cylinder lock access from exterior side.
 - 5 Bird protection netting
- Extent of Bird Protection Netting is as follows:
- Vertically above the raised deck, to a height of 2500mm to the entire perimeter of the raised deck (not including the landings or stairway)
 - Horizontally at a height of 2500mm over the entire raised deck (not including the landings or stairway)
 - Vertically above the security fencing as shown
 - Vertically from ground level to underside of edge of raised platform
 - From the underside of the perimeter of the raised deck to the top of the CHP chamber

- 6 Zinc galv. steel angle framed double gates approx. 4000mm wide by 1800mm high with single floor bolt to one leaf and sliding bolt or falling latch catch.
- 7 Rainscreen cladding facade to laboratory exterior walls
- 8 Plant access gates to raised deck level - min 2.0m high

Kendall Kingscott

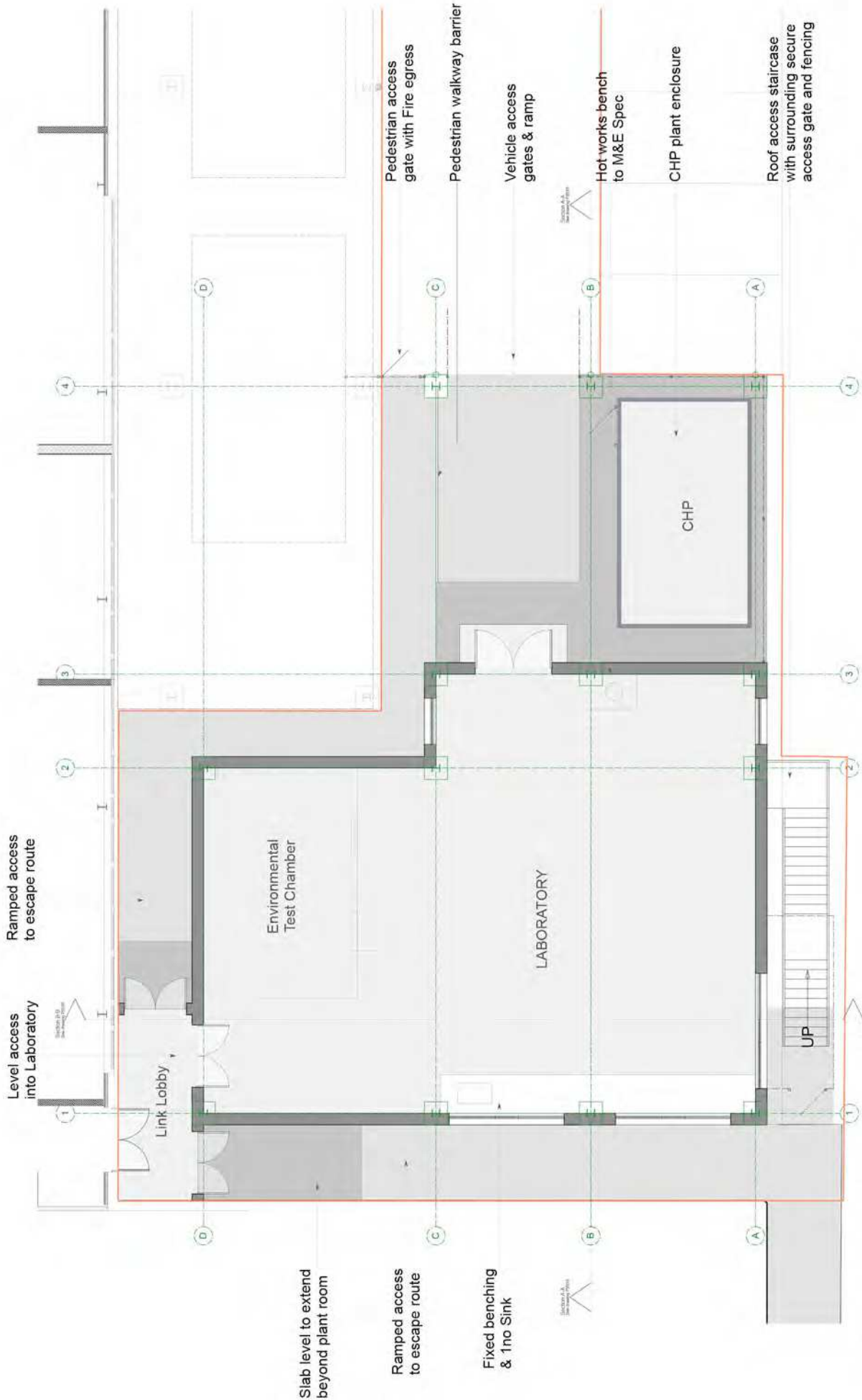
Architects & Engineers
 100, 100th St, St. John's, NL A1A 1A6
 Tel: 709 463 1100
 Fax: 709 463 1101
 Email: info@kendallkingscott.com

Client: CSIR Extension Phase 3
 Proposed Elevations

Project Name: 160665 P(0)09
 Client: Brunel University London
 Project Location: Brunel University London
 Project Start: 2019/01/01
 Project Status: PLANNING

Project No: 1100
 Project Name: CSIR Extension Phase 3
 Project Location: Brunel University London
 Project Start: 2019/01/01
 Project Status: PLANNING

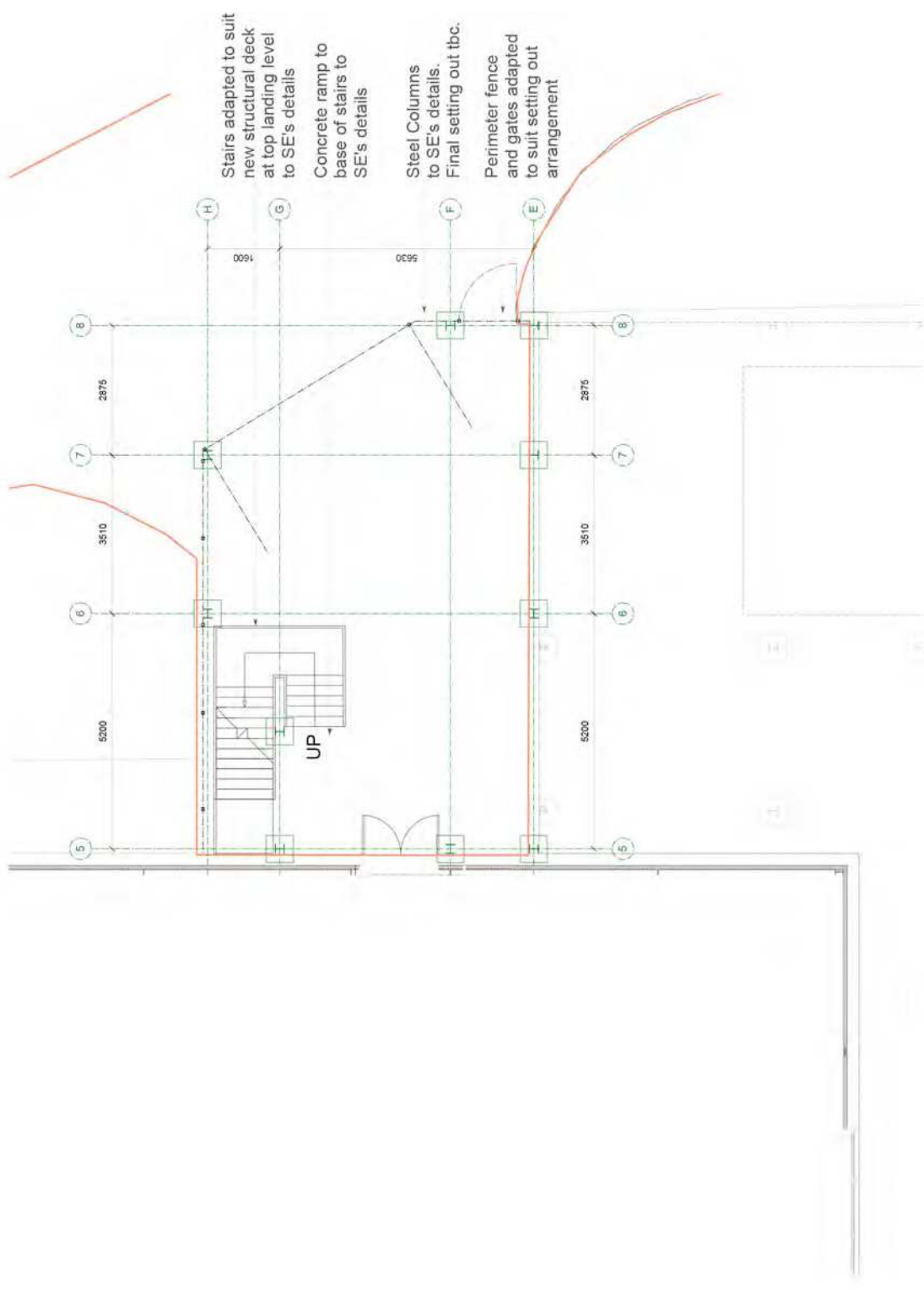
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PROPOSED LABORATORY GROUND FLOOR PLAN



Kendall Kingscott		A. 31/17/17 ©. See attached to cover sheet	
Client	CSRF Extension Phase 3	Project	Proposed Lab Ground Floor Plan
Contractor	CSRF Building Company	Project No.	160665 P(0)7 A
Site	Brunel University London	Issue	31/17/17
Drawn	LABORATORY	Checked	CS
Scale	1:50	Discipline	PLANNING
Kendall Kingscott		Kendall Kingscott	



Stairs adapted to suit new structural deck at top landing level to SE's details

Concrete ramp to base of stairs to SE's details

Steel Columns to SE's details. Final setting out tbc.

Perimeter fence and gates adapted to suit setting out arrangement

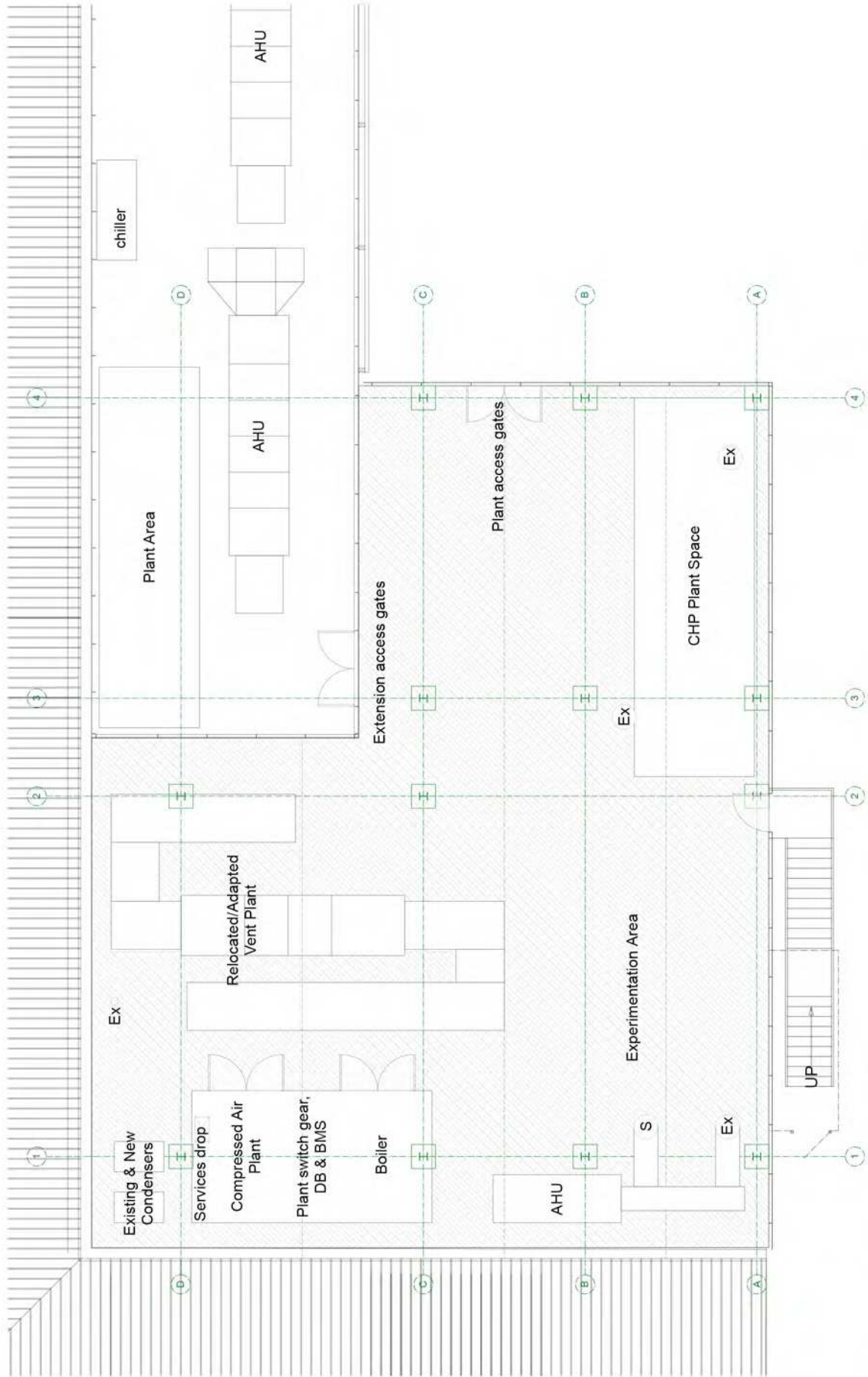
PROPOSED PLANT EXTENSION GROUND FLOOR PLAN

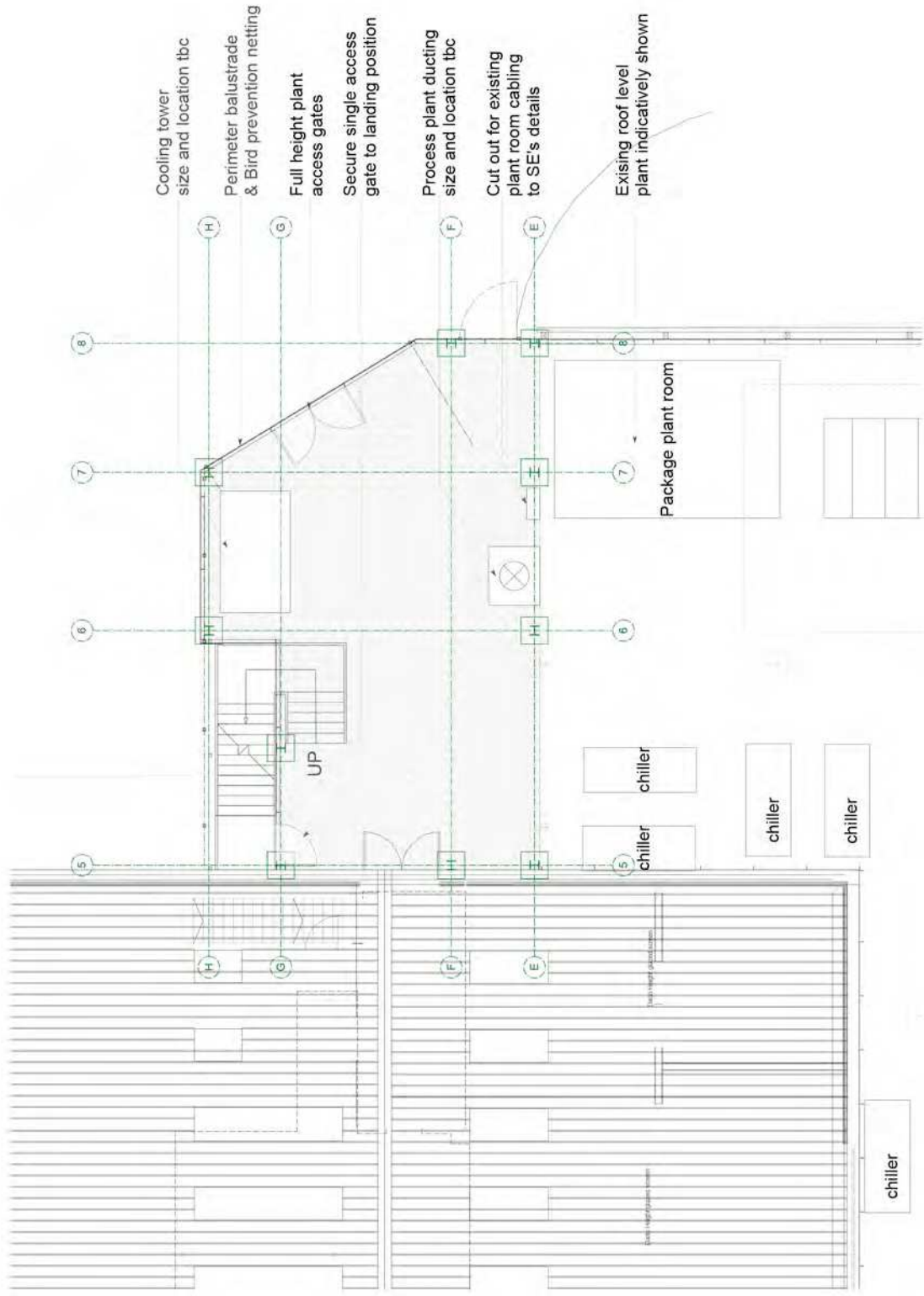


Kendall Kingscott

Architects & Planners
 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200

Client: CSF Extension Phase 3
 Project: 160665 P(0)05 A
 Location: Brunel University London
 Date: 31/07/20
 Scale: 1:50
 Drawing: PLANT EXTENSION
 Status: PLANNING



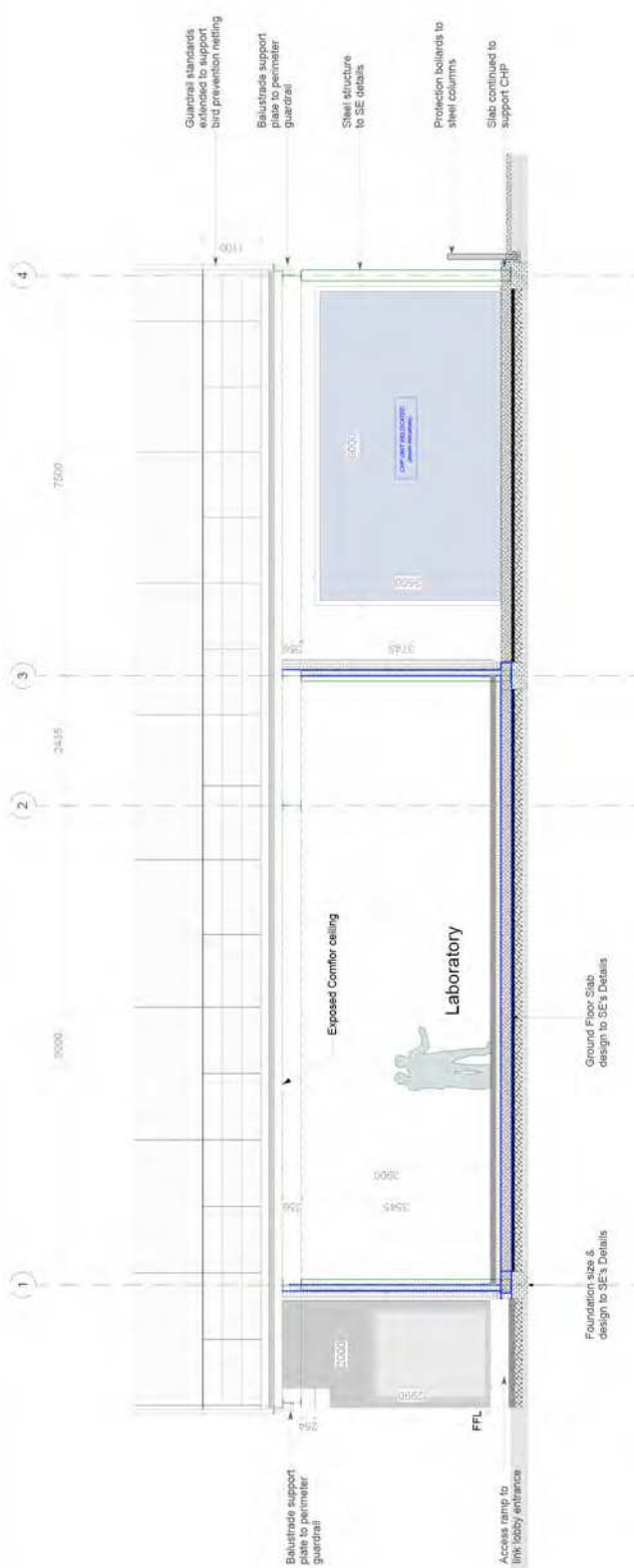


- Cooling tower size and location tbc
- Perimeter balustrade & Bird prevention netting
- Full height plant access gates
- Secure single access gate to landing position
- Process plant ducting size and location tbc
- Cut out for existing plant room cabling to SE's details
- Existing roof level plant indicatively shown

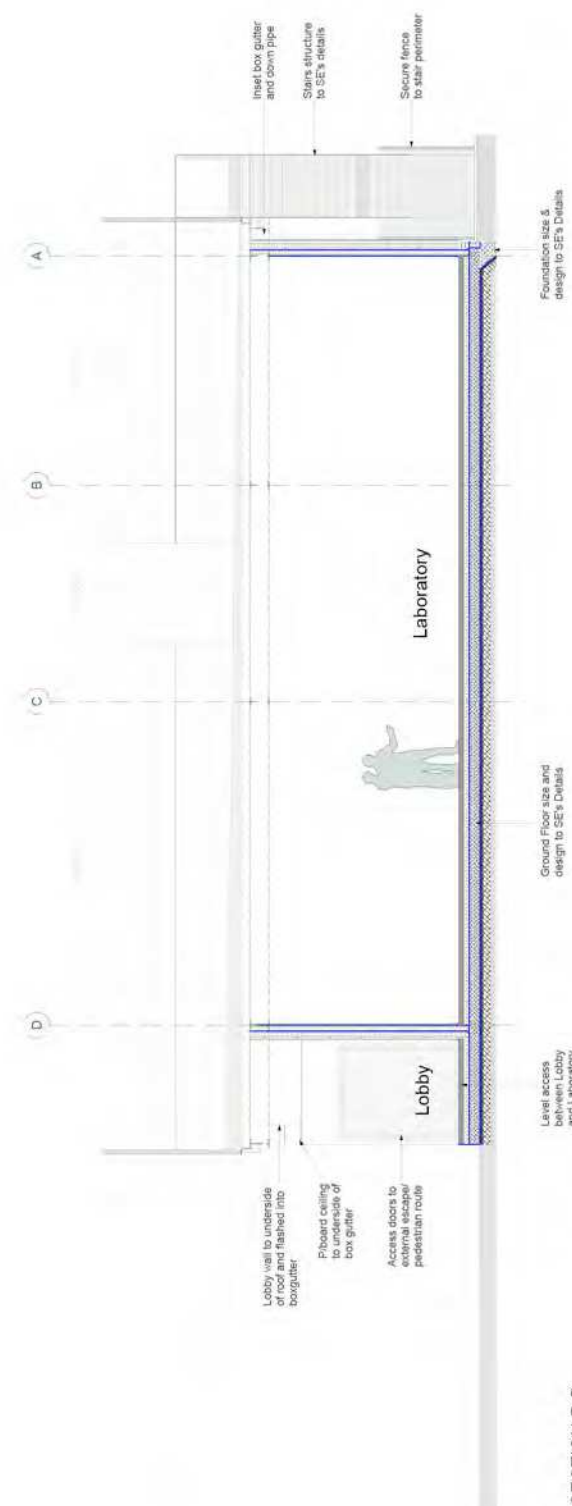
PROPOSED PLANT EXTENSION ROOF PLAN



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 Chartered Architect
 Chartered Building Surveyor
 Chartered Quantity Surveyor
 Chartered Project Manager
 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

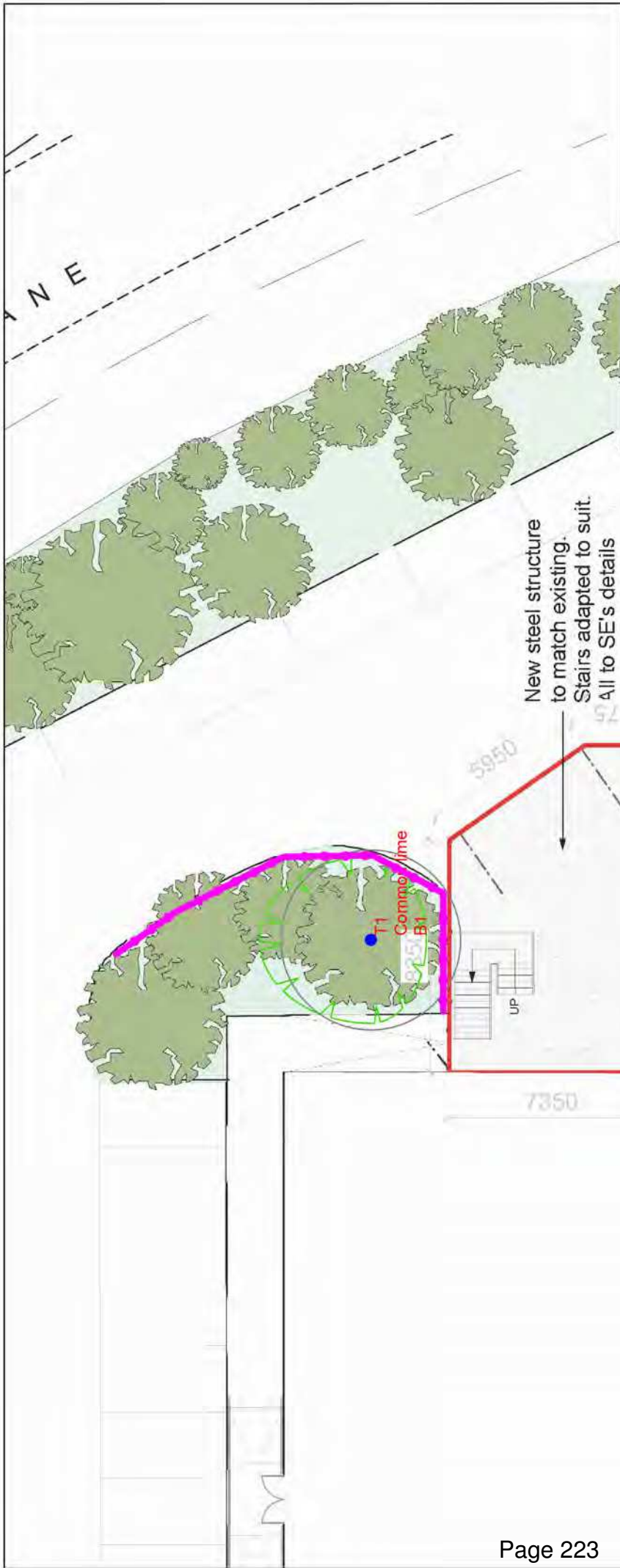


SECTION A-A



SECTION B-B





New steel structure
to match existing.
Stairs adapted to suit.
All to SE's details

Roof cantilevered
over pedestrian
access route.

Level access
near doors
ramp

Single access gate
to pedestrian route

Simon Hawkins M.Arbor.A.
Merewood Arboricultural
Consultancy Services
 Merewood, Gregory Road, Hedgerley, Bucks, SL2 3XW
 Tel: 01753 647236 Mob: 07784 915944
 email: s_jmon.hawkins@hotmail.co.uk

Site: Brunel University, Kingston Lane, Hillingdon 1-200@A4
 Drawing Title: Tree Protection Plan Dec 2016

Key:

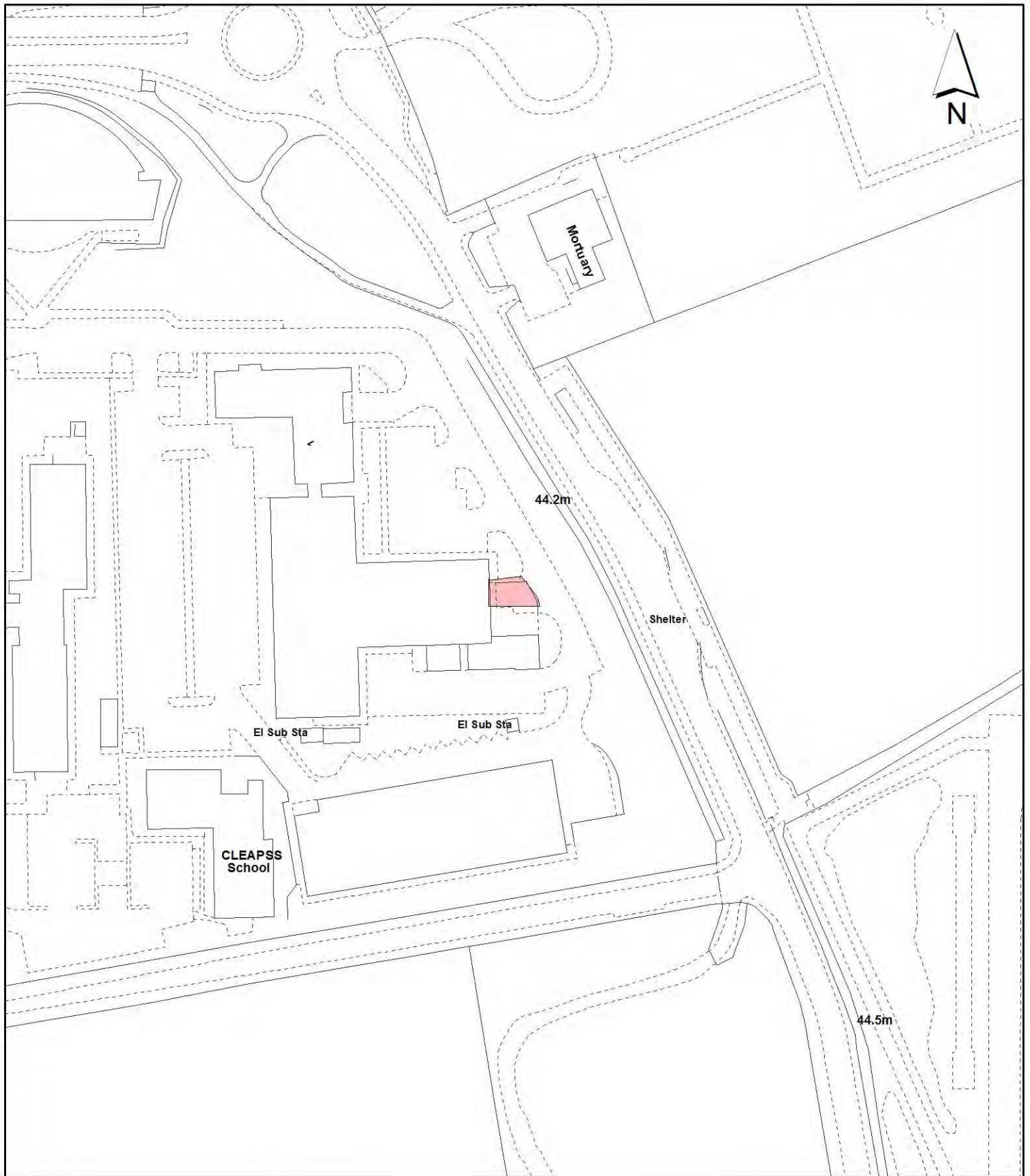
- Category A ●
- Category B ●
- Category C ●
- Category U ●

Crown Spread
Tree Number
Species
Category

Root Protection Area

NOTE: tree location is approximate

Tree Protection Fencing
BS5837:2012



Notes:

 Site boundary

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Site Address:

Brunel University

LONDON BOROUGH OF HILLINGDON
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

532/APP/2016/4572

Scale:

1:1,250

Planning Committee:

Central & South

Date:

March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address BRUNEL UNIVERSITY KINGSTON LANE HILLINGDON

Development: Removal of condition 1 (Retention of Structures) of planning permission ref: 532/APP/2013/1586 dated 10/10/2013 (Single storey structure to accommodate 3 x test chambers and associated roof plant for a temporary period of 10 years, following demolition of existing building)

LBH Ref Nos: 532/APP/2016/4568

Date Plans Received: 20/12/2016

Date(s) of Amendment(s):

Date Application Valid: 20/12/2016

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 Z 1/2013 1st Edition

Site Address:
 Brunel University,
 Kingston Lane,
 Uxbridge,
 Middlesex,
 UB8 3PH

Drawing Legend:
 Campus Boundary
 Proposed Site Boundary

Kendall Kingscott
 Chartered Architects
 Chartered Building Surveyors
 Planning Designers
 CDM Co-ordinators
 Brunel University, Uxbridge, Bucks
 Bucks Office, Bucks, BS34 8ST
 T: 01753 20222 F: 01753 21234
 www.kendallkingscott.co.uk

Project:
 CSEFC Project

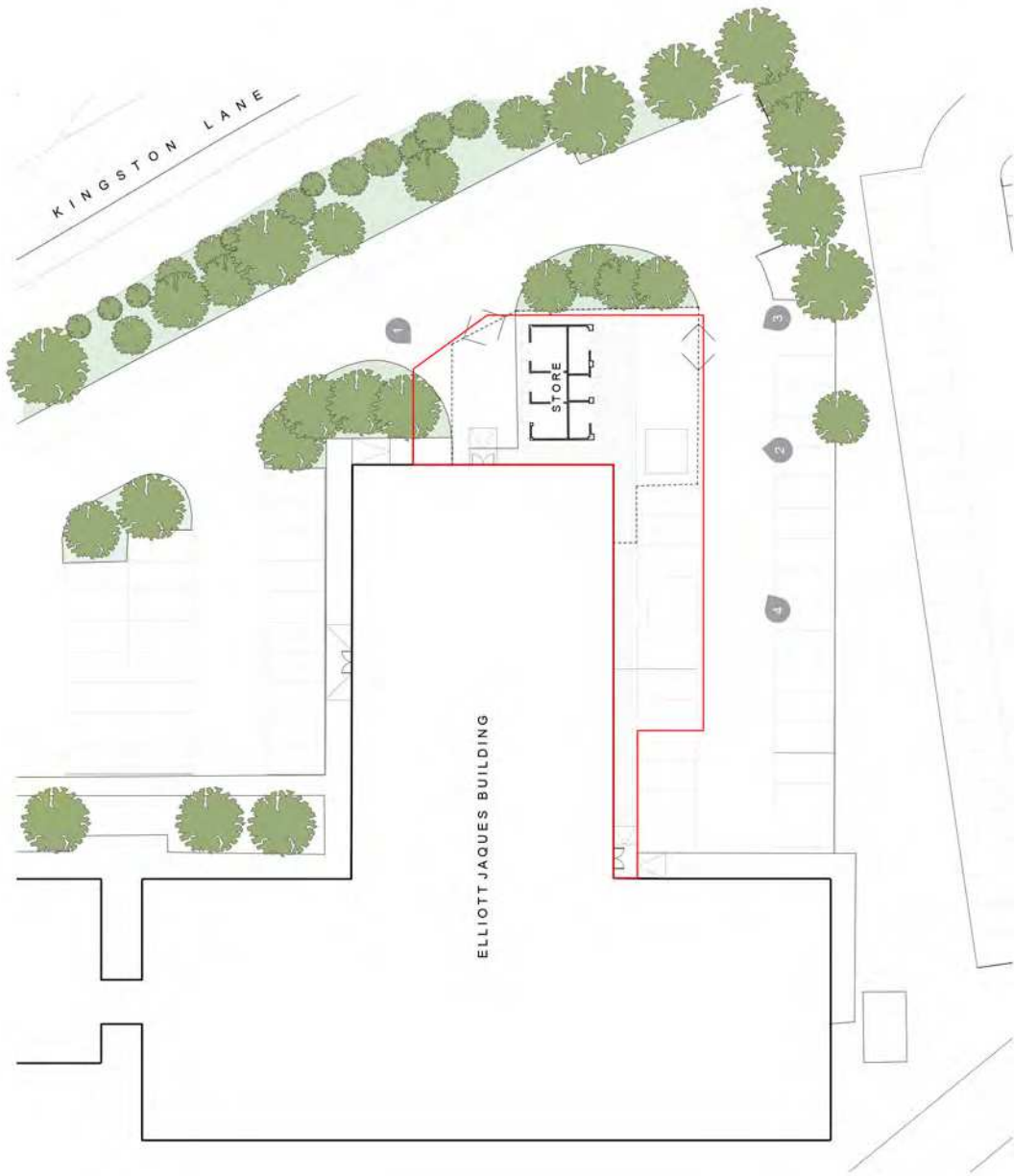
Client:
 Brunel University Estate
 Drawing No:
 Site Location Plan

Drawing No:
130327 P(0)1 B
 Drawing Date:
 11/2010 @ A1
 Drawing Scale:
 as laid out
 Date:
 May 2013
 Drawn:
 rmp
 Checked:
 rmp
 Planning

0m 50m 100m
 scale
 1:1250 @ A1



see drg. P1002 site plan
 site area - 350 msq

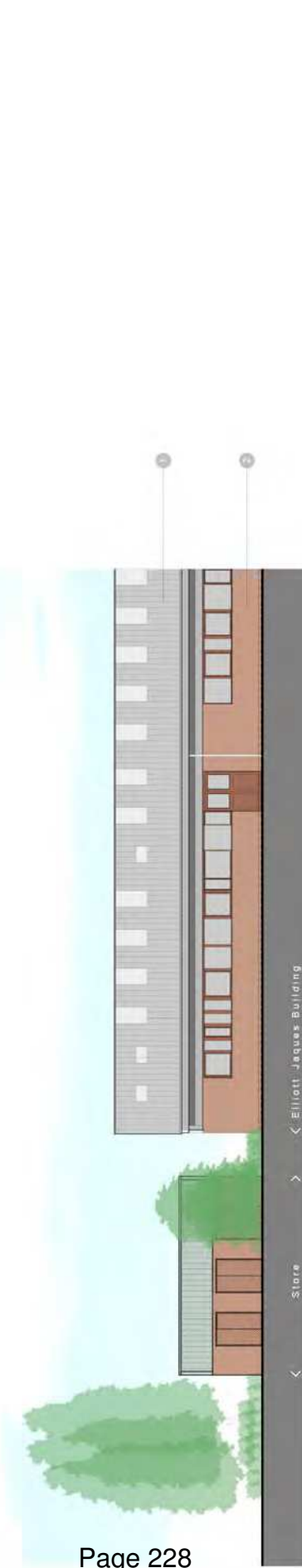


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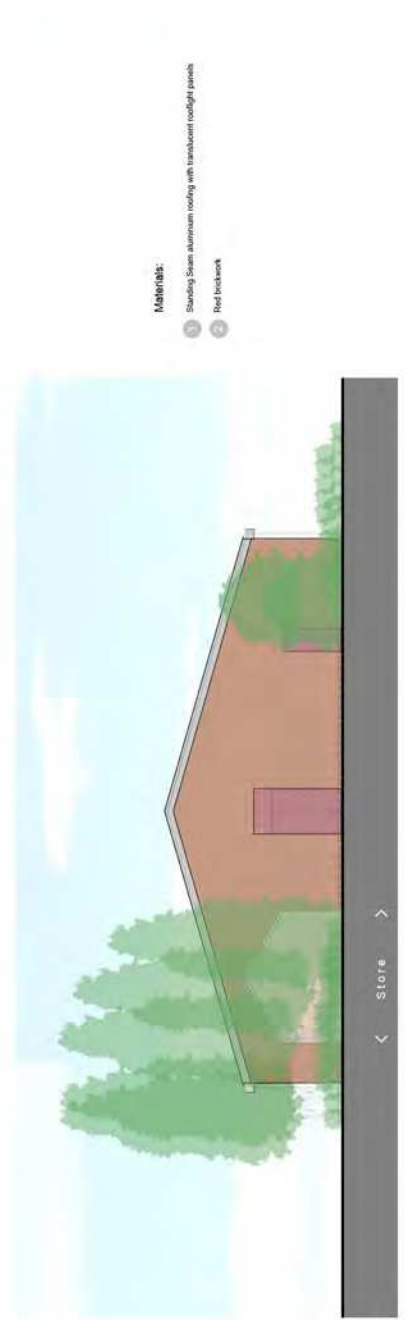
File: 04a_01_1024
 A 14/07/13 104 Revet 13 Planning Details
 B 14/07/13 104 Kingston Lane 2/20m



South Elevation as Existing
 scale: 1/100 @ A1



North Elevation as Existing
 scale: 1/100 @ A1



East Elevation as Existing
 scale: 1/100 @ A1

Materials:

- 1 Standing Seam aluminium roofing with translucent rooflight panels
- 2 Red brickwork



Kendall Kingscott
 Chartered Architects
 Chartered Building Surveyors
 Interior Designers
 CDM Co-ordinators
 Blenheim Court, Lime Kiln Close
 Stoke Gifford, Bristol, BS34 6SR
 T: 0117 931 2002 F: 0117 931 2134
 www.kendallkingscott.co.uk

Project:
 CSEFC Project

Client:
 Brunel University Estate

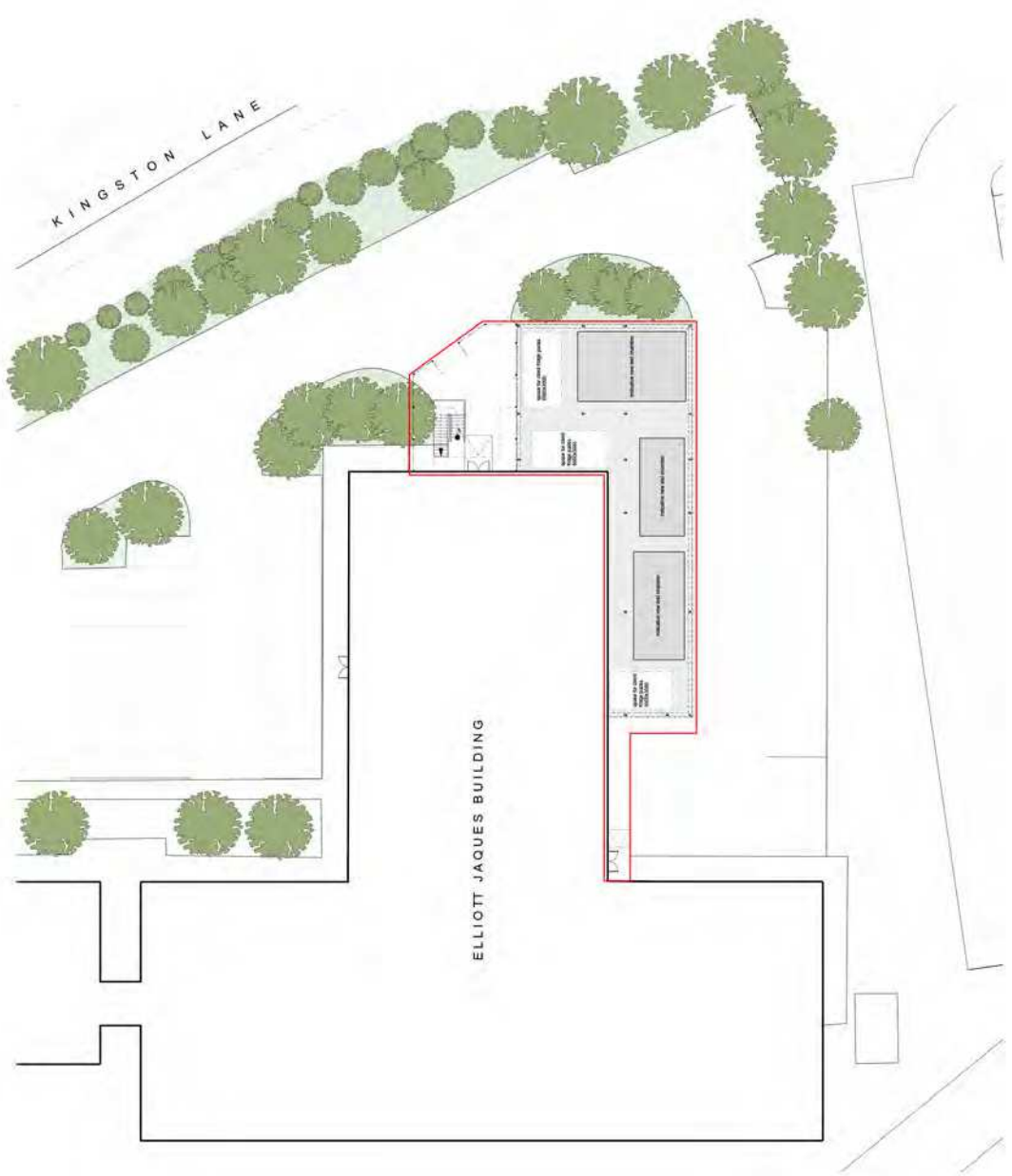
Drawing No:
 Elevations as Existing

Sheet No:
 130327 P(0)03 B

 Date: 11/00
 Scale: A1
 Drawn: JMS
 Checked: JMS
 Date: May 2013
 Rev: N
 Planning

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Rev. Date. By. Issue
 A. 14/07/13. H.M. Revised to construction status
 B. 20/07/13. H.M. Final for boundary extension.



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 Chartered Building Surveyors
 Planning Designers
 CDM Co-ordinators
 Brackley, Cotuit, Lincolnshire
 80-82 High Street, Brackley, NN34 8SE
 T: 0113 802 7113 F: 0113 821 2334
 www.kendallkingscott.co.uk

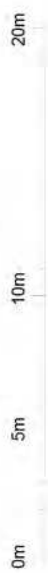
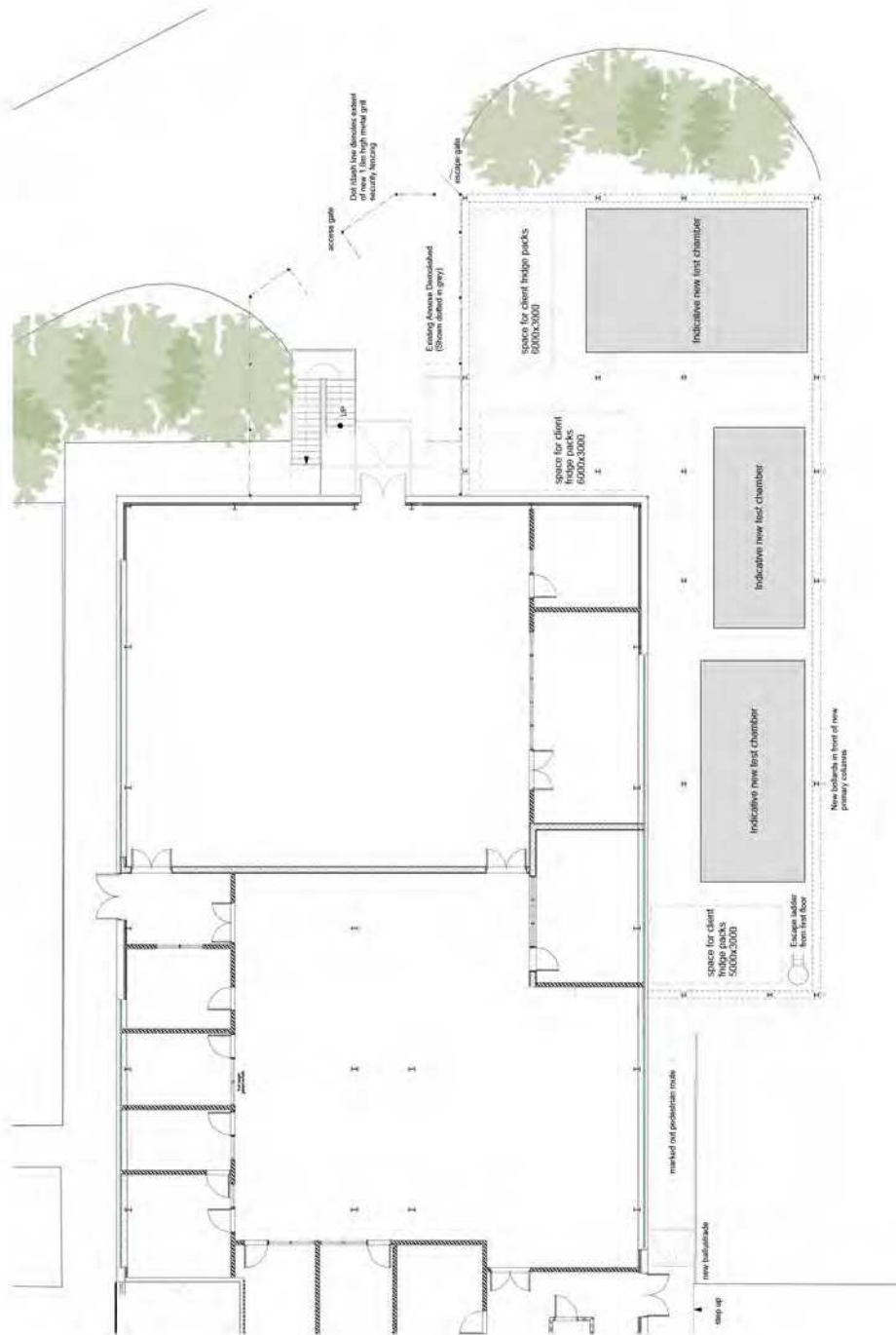
Project: **CSEFC Project**
 Client: **Brunel University Estate**
 Drawing No: **Site Plan**
 As proposed
130327 P(0)04 B
 Date: 1/2/09
 Scale: A1
 Drawn: J.M.
 Checked: H.M.
 May 2013
 mm
 N
 Planning

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Rev. Date By Issue
 A 14/07/13 HQ Revisions to parking areas

Kendall Kingscott
 Chartered Architects
 Chartered Building Surveyors
 Interior Designers
 CDM Co-ordinators
 Brunelway, Colton, Uxbridge, Middlesex
 Bucks HP8 3JL, UK
 T: 01753 60222 F: 01753 621234
 www.kendallkingscott.co.uk

Project: **CSEFC Project**
 Client: **Brunel University Estate**
 Drawing No: **Ground floor plan - Proposed**
 Drawing No: **130327 P(0)05 A**
 Scale: 1/100
 Date: 14/07/13
 Drawn: JG
 Checked: JG
 Date: May 2013
 File: rmp
 Project: Planning



scale
 1/100 @ A1

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Rev: 006 Rev: 002
 A 14/07/13 10g Head of Planning Details

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 Interior Designers
 CDM Co-ordinators

Brinkworth Court, Limekiln Close
 Sinks Hill, Brink, BS34 8SF
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 www.kendallkingscott.co.uk

Project
CSEFC Project

Client
Brunel University Estate

Project Name
First floor plan - Proposed

Project No.
130327 P(0)06 A

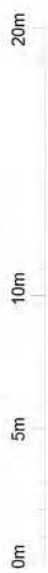
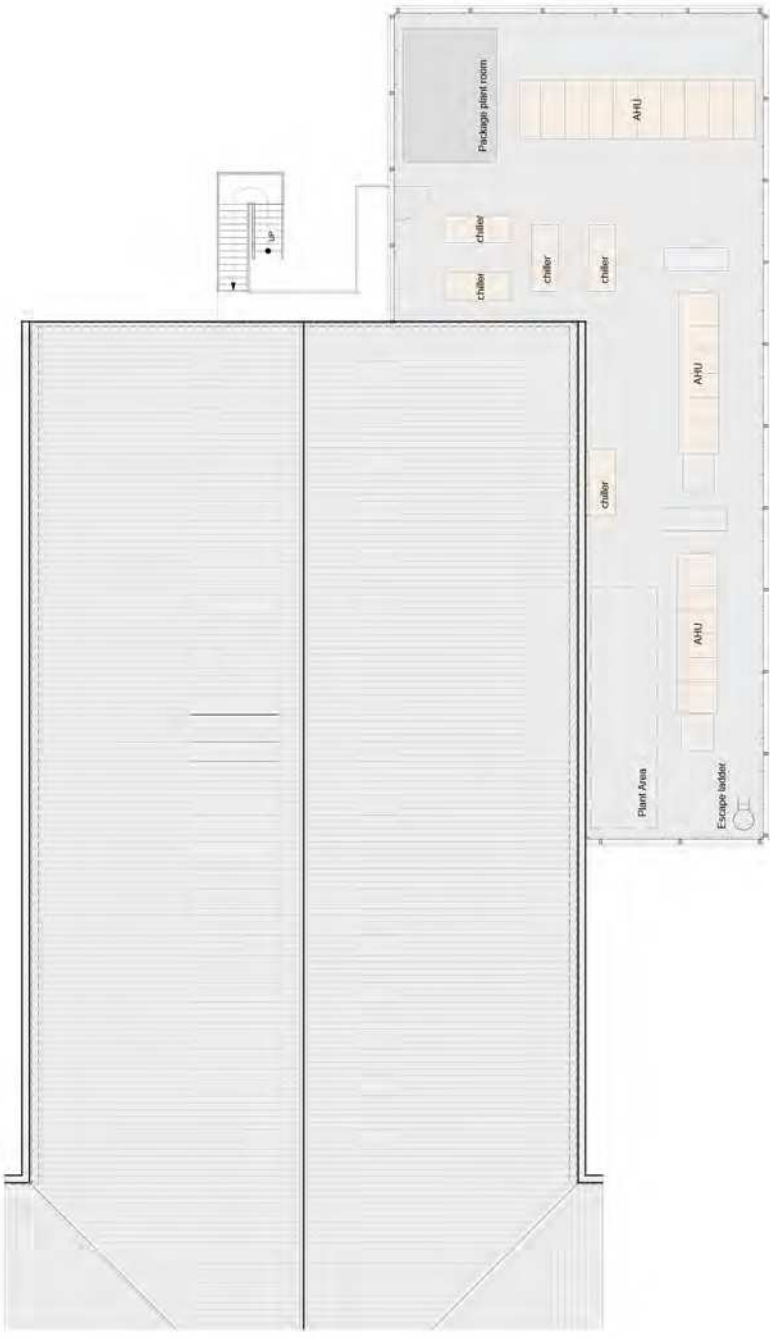
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Date
 May 2013

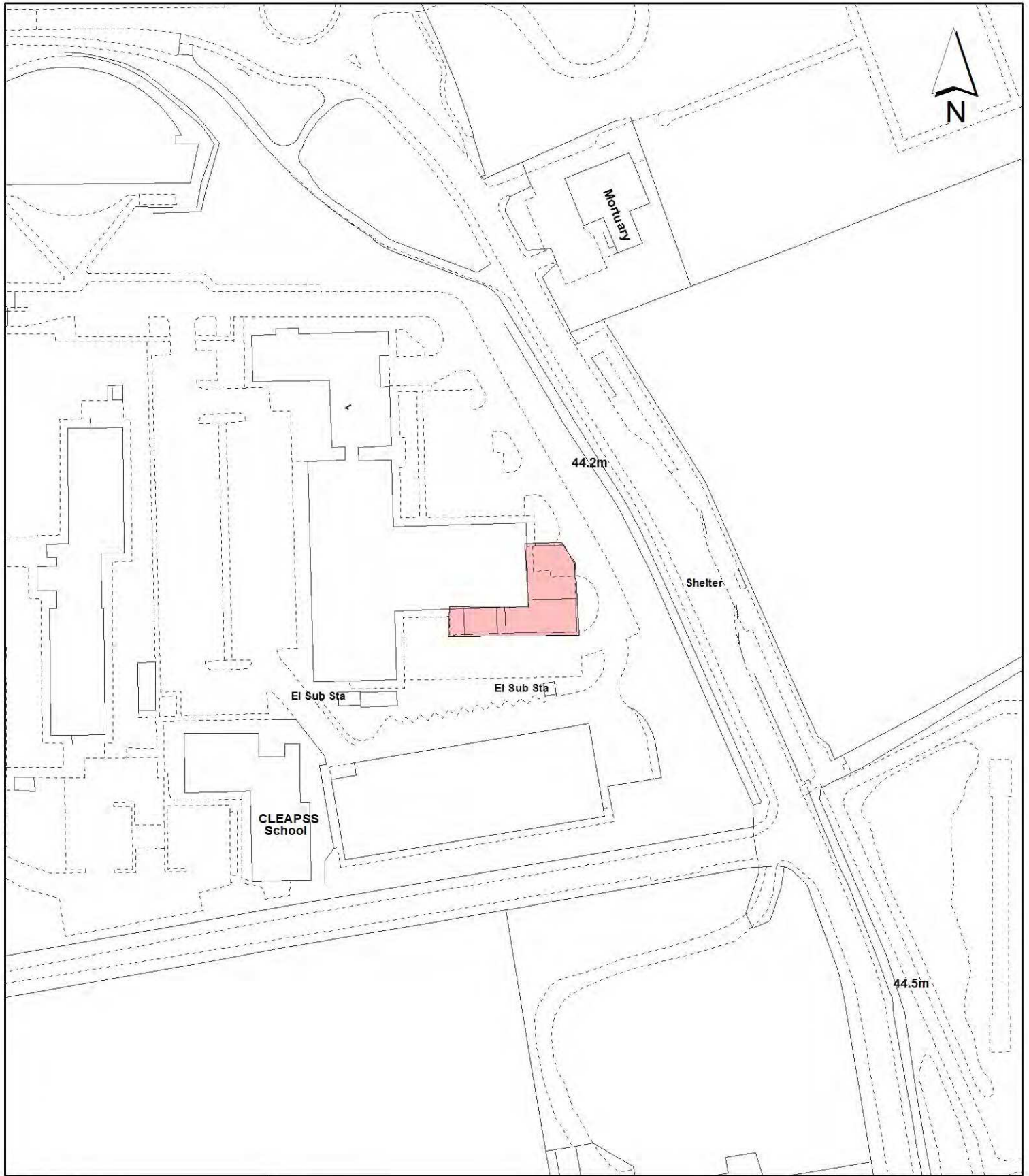
Author
 JLI

Checked
 mp

Discipline
 Planning



scale
 1/100 @ A1



Notes:

 Site boundary

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Site Address:

Brunel University

LONDON BOROUGH OF HILLINGDON
Residents Services Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
532/APP/2016/4568

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address 140 RYEFIELD AVENUE HILLINGDON

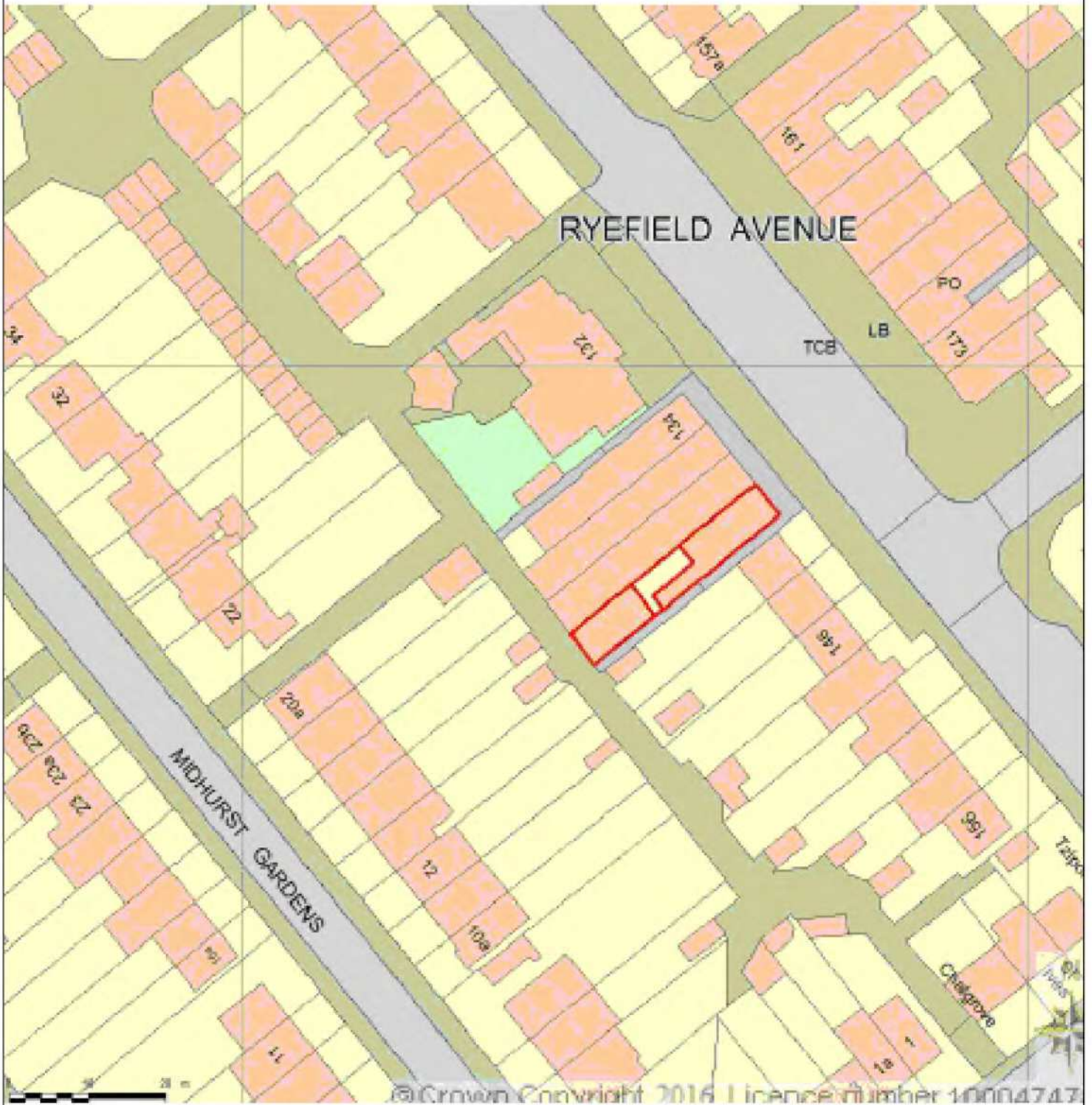
Development: Change of use from Use Class A1 (Shops) to Use Class A3/A5.
(Restaurants/Hot Food Takeaway) involving installation of extraction duct to rear.

LBH Ref Nos: 29498/APP/2016/3975

Date Plans Received: 28/10/2016

Date(s) of Amendment(s): 28/10/2016

Date Application Valid: 03/11/2016



BLOCK PLAN
SCALE 1:500



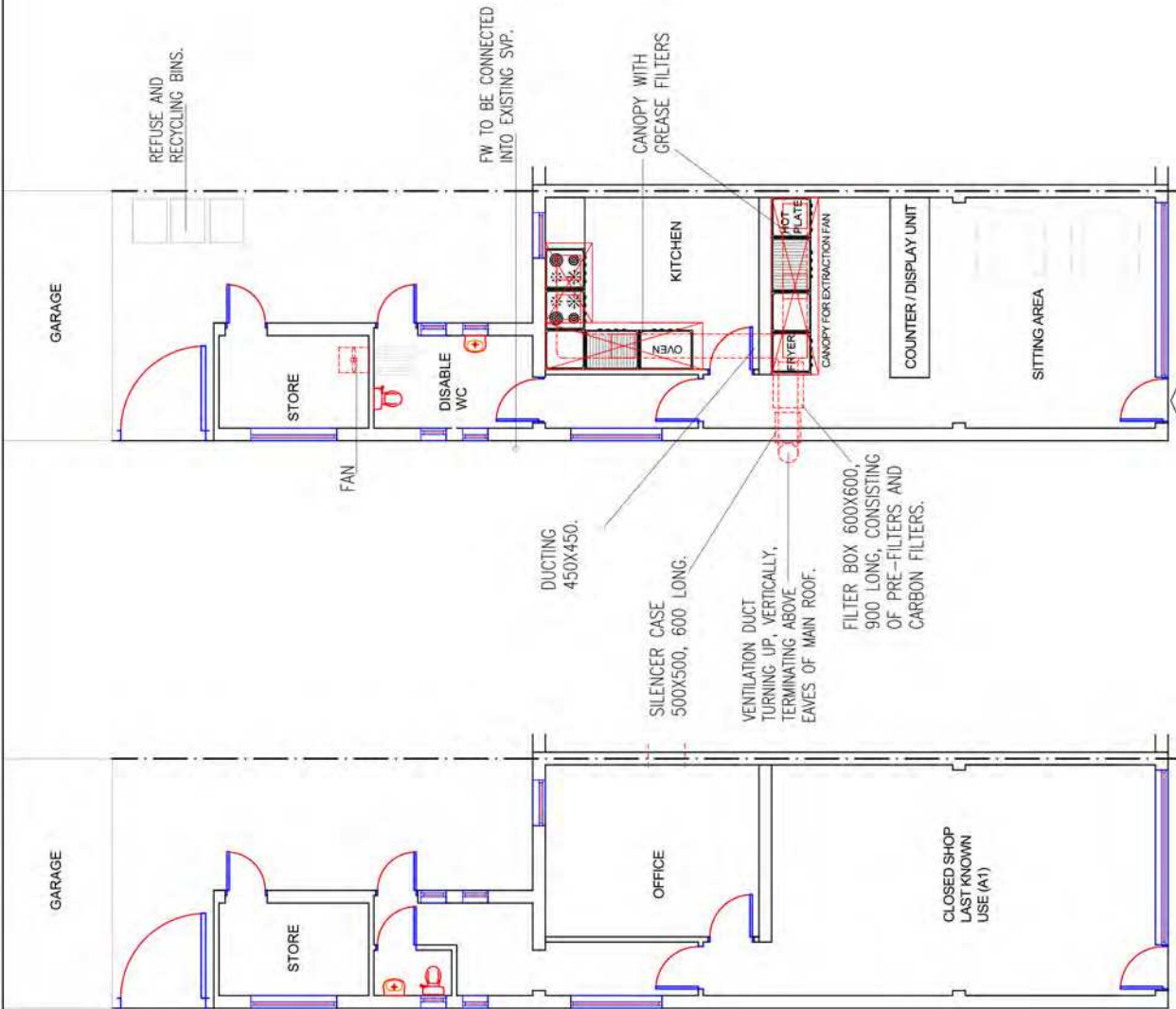
SAUD AHMAD
Architectural Design Consultancy
87 HUNTERS GROVE, HAYES, MIDDLESEX, UB8 3HE

Mob: 07930 880404
Tel: 0208 756 1784
Fax: 0208 756 1784

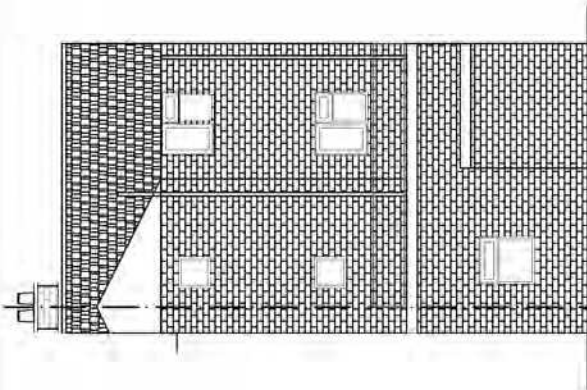
Client MR. HAIDER HASHEM MOHAMMED		Site 140 RYEFIELD AVENUE, UXBRIDGE, UB10 9DA	
Project CHANGE OF USE FROM CLASS A1 TO CLASS A5		Title BLOCK PLAN	
Scale 1:500 @ A3	Date 27/10/2016	Drawn by SSC	Drwg. No 140 RYE/FPAS
			Revision B



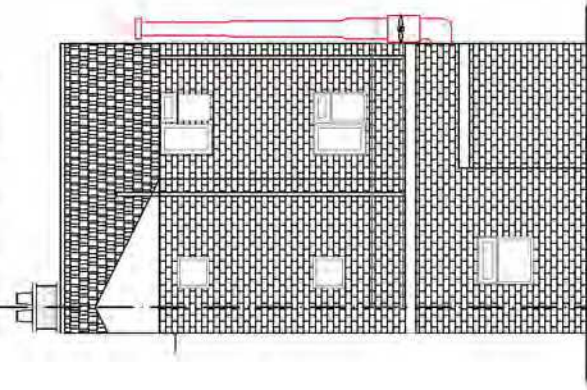
SITE LOCATION PLAN
SCALE 1:1250



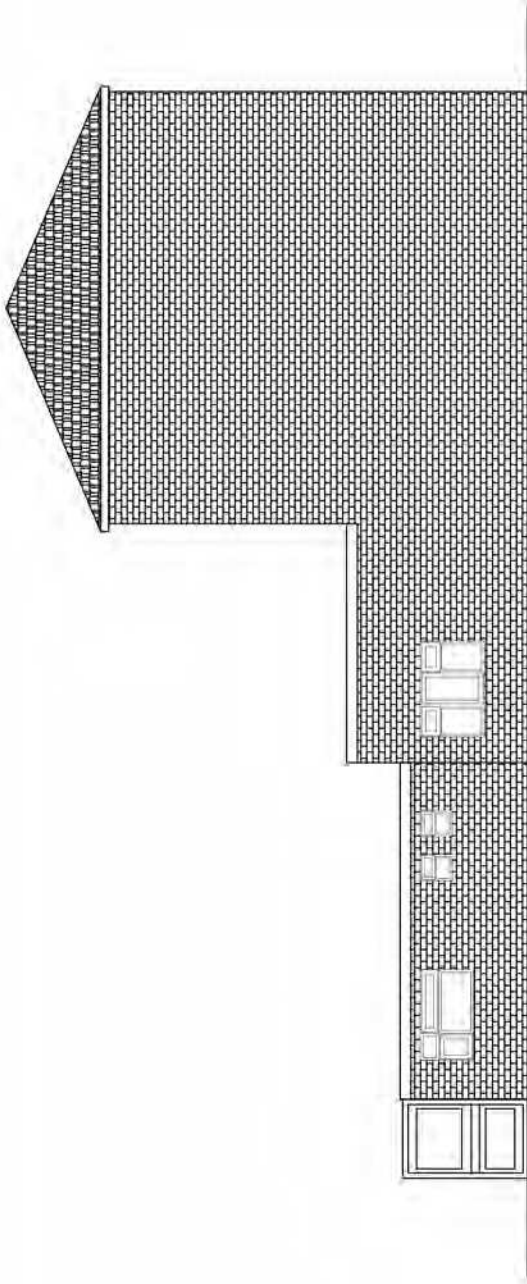
		SAUD AHMAD Architectural Design Consultancy 87 HUNTERS GROVE, HAYES, MIDDLESEX, UB3 3JF Mob: 07930 880404 Tel: 0208 756 1784 Fax: 0208 756 1784	
Client	MR. HAIDER HASHIM MOHAMMED	Site	140 RYEFIELD AVENUE, UXBRIDGE, UB10 9DA
Project	CHANGE OF USE FROM A1 TO A3	1 st Floor	FLOOR & SITE LOCATION PLANS
Scale	1:100, 1:1250 @ A3	Date	27/10/2016
Drawn by	SSC	Brng No	140 RYE/FPA1
Revision	B		



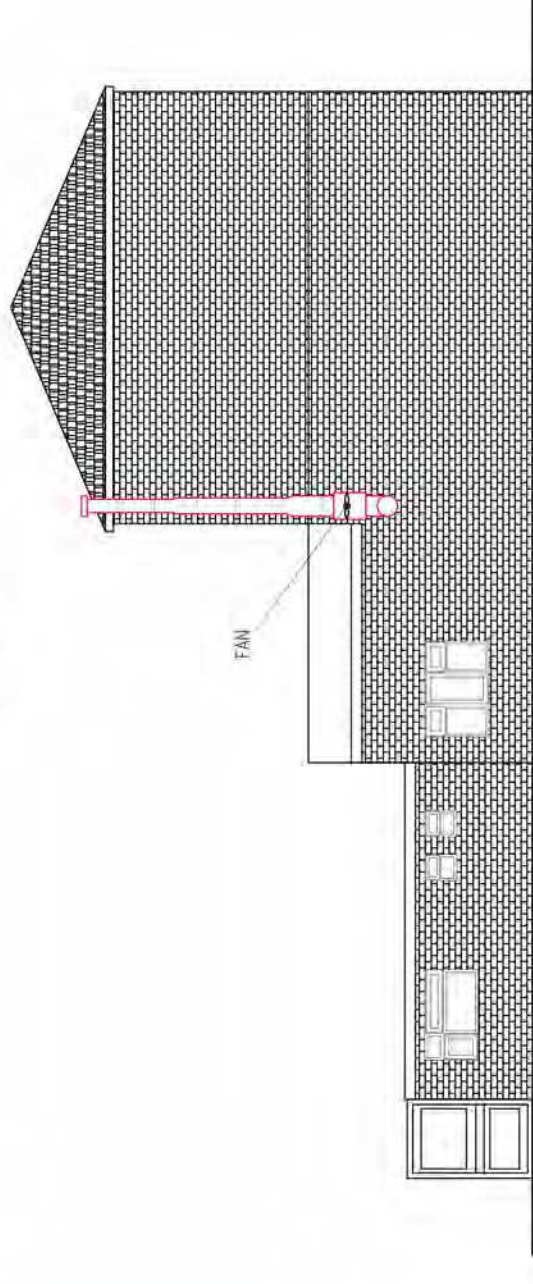
EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION



EXISTING SIDE ELEVATION



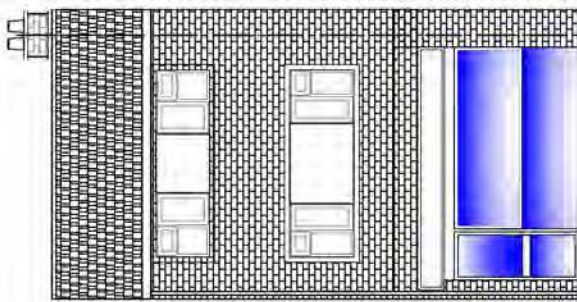
PROPOSED SIDE ELEVATION



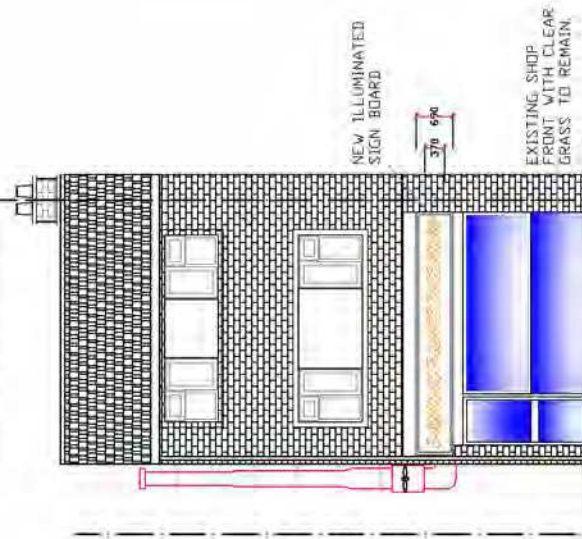
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Architectural Paper Consultants
87 HUNTERS GROVE, HAYES, MIDDLESEX, UB3 3JF

Mob: 07930 881404
Tel: 0208 756 1784
Fax: 0208 756 1784

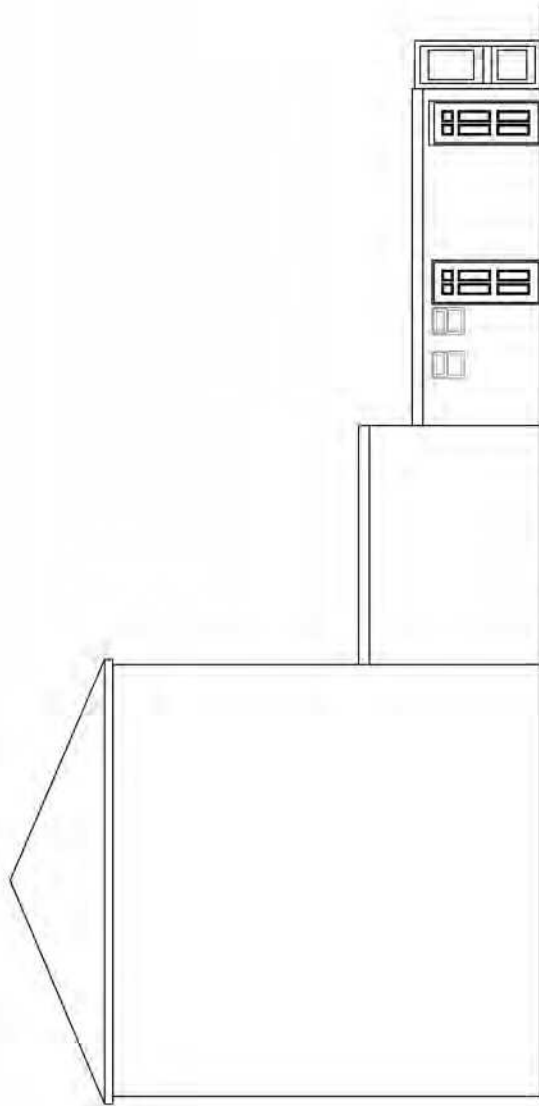
Client	MR. HAIDER HASHIM MOHAMMED	Site	140 RYEFIELD AVENUE, UNBRIDGE, UB10 9DA
Project	CHANGE OF USE FROM CLASS A1 TO CLASS A5	Title	EXISTING & PROPOSED REAR AND SIDE ELEVATIONS
Scale	1:100 @ A3	Date	27/10/2016
		Drawn by	SSC
		Proj. No.	140 RYEFP2
		Revision	B



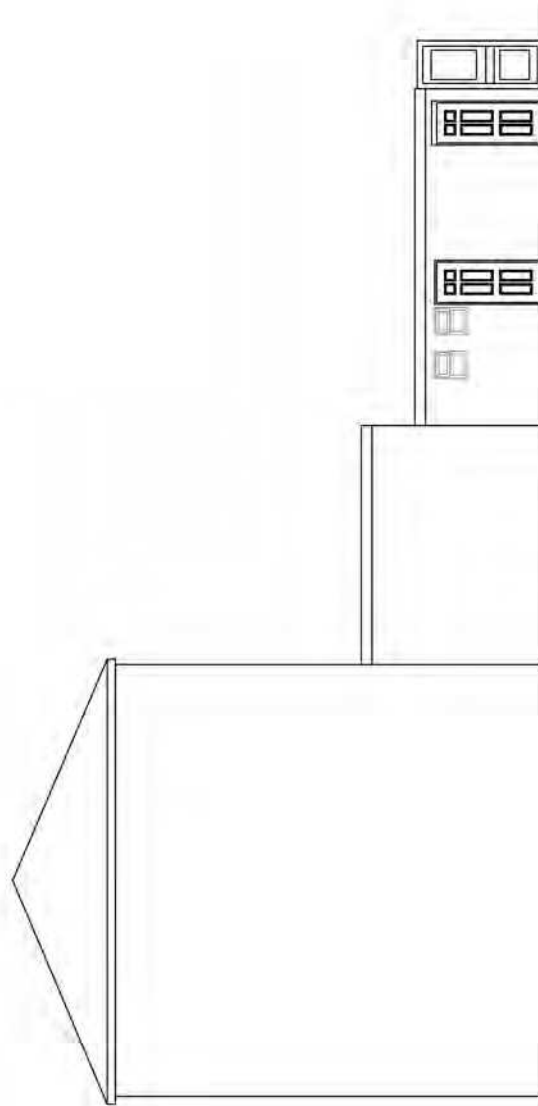
EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION



EXISTING SIDE ELEVATION



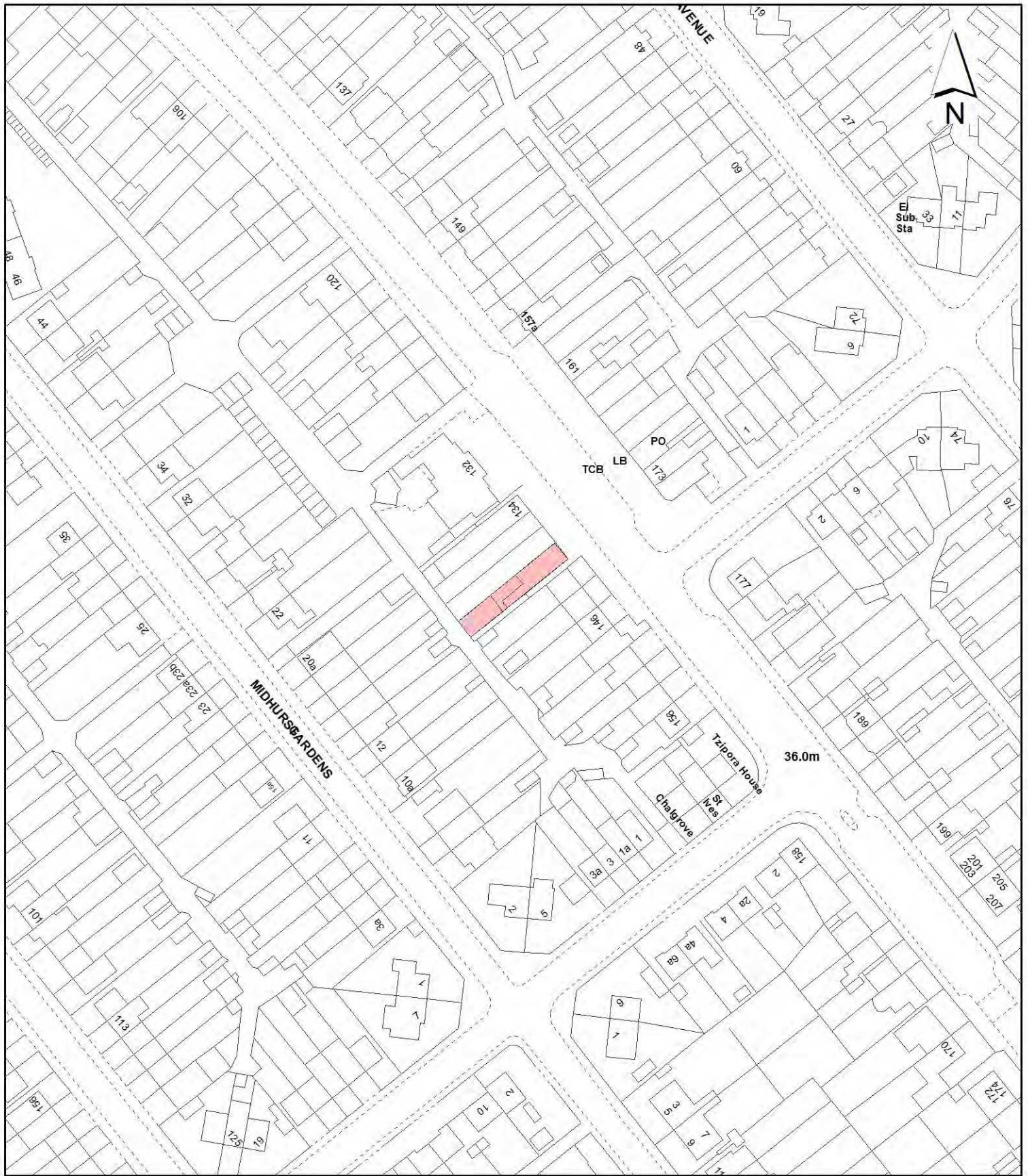
PROPOSED SIDE ELEVATION



SAUD AHMAD
Architectural Design Consultants
87 HUNTERS GROVE, HAYES, MIDDLESEX, UB3 3JF

Mob: 07930 881414
Tel: 0208 756 1784
Fax: 0208 756 1784

Client	MR. HAIDER HASHEM MOHAMMED	Site	140 RYEFIELD AVENUE, UXBRIDGE, UB8 9DA
Project	CHANGE OF USE FROM CLASS A1 TO CLASS A3	Title	EXISTING & PROPOSED FRONT AND PARTY WALL SIDE ELEVATIONS
Scale	1:100 @ A3	Date	27/10/2016
		Drawn by	SSC
		Revision	B



Notes:

 Site boundary

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LONDON BOROUGH OF HILLINGDON
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
29498/APP/2016/3975

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address GRANGE HOUSE 9 GRANGE ROAD HAYES

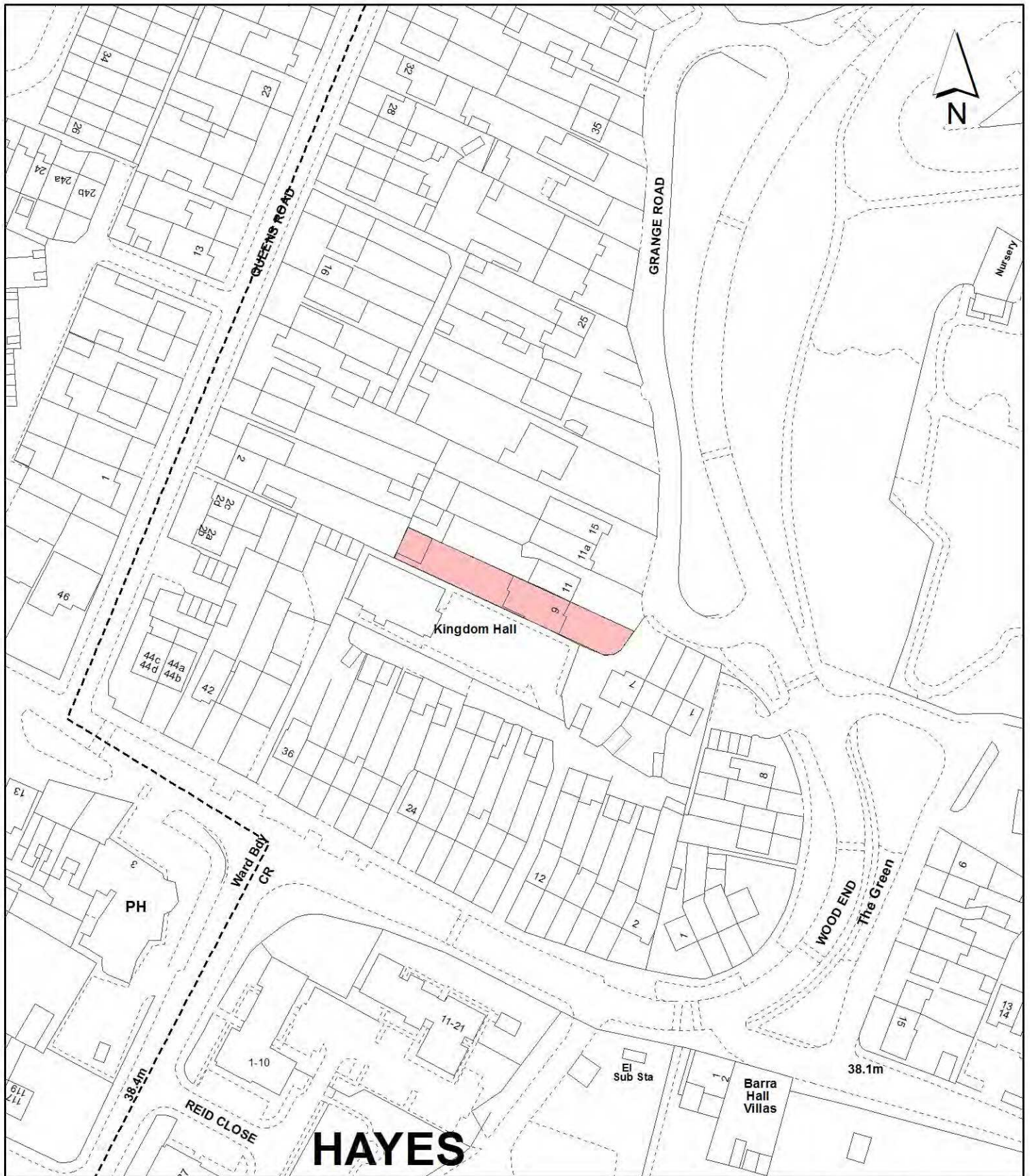
Development: Change of use from dwellinghouse (Use Class C3) to a 12-person House of Multiple Occupation (Sui Generis) with alterations to front and internally

LBH Ref Nos: 1489/APP/2016/4156

Date Plans Received: 15/11/2016

Date(s) of Amendment(s):

Date Application Valid: 13/12/2016



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Site Address:

**Grange House
 9 Grange Road**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
1489/APP/2016/4156

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address 6 HAMILTON ROAD COWLEY UXBRIDGE

Development: Two storey side extension, single storey front extension, single storey rear extension and conversion of roof space to habitable use to include a rear dormer

LBH Ref Nos: 5670/APP/2017/42

Date Plans Received: 04/01/2017

Date(s) of Amendment(s):

Date Application Valid: 04/01/2017



LOCATION PLAN
SCALE 1:1250



Application:
**HPA - GF rear, front, 2 storey side extension incl
loft conversion with rear dormer**

Client:	Mr T Plahe	Date:	20th March 2016
Site:	6 Henslow Road, Lytchlope, W88 3AJ	Drawn By:	Garye Benning
Scale:	Refer to Drawing @ A3	Dwg No.:	MSB64-05A

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WS10 7PA

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**BLOCK PLAN
SCALE 1:500**

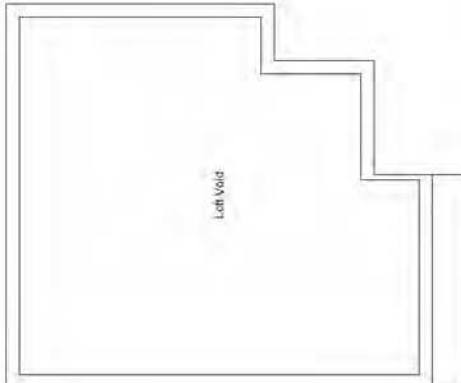
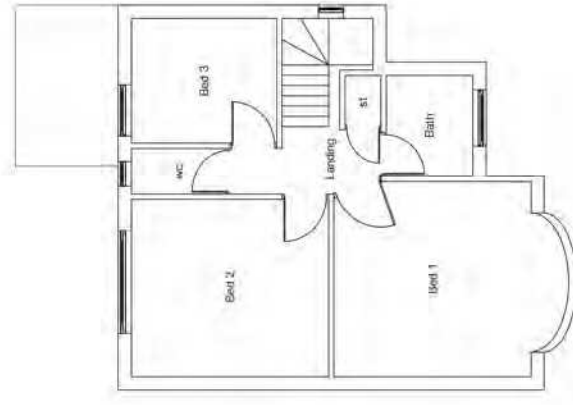
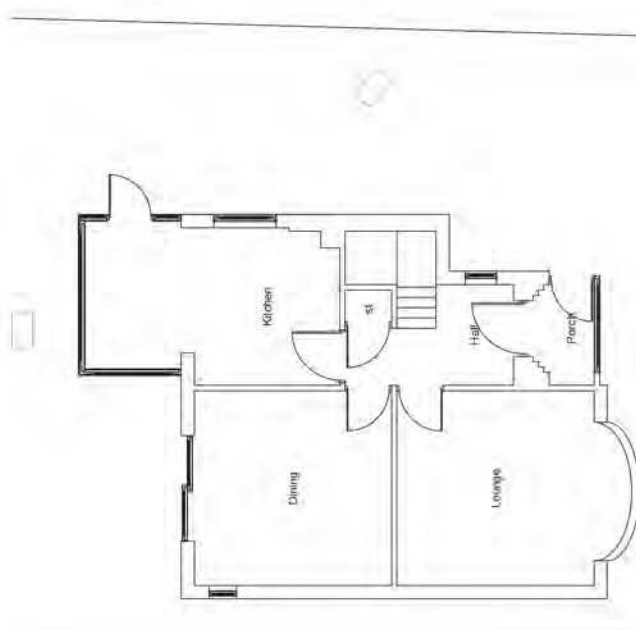


SCALE 1 : 100

REMARKS:

Where building to the boundaries the adjacent owner is to be informed under the terms of the Party Wall Act 1996 and its provisions followed. Where building over boundaries, the adjacent owner is to be served notice under section 85 of the Town & Country Planning Act 1990.

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EXISTING GF / FF & ROOF LAYOUTS
Scale 1:100

Application:
**HPA - GF rear, front, 2 storey side extension incl
loft conversion with rear dormer**

Client:	Mt T Pleha	Date:	20th March 2016
Site:	6 Hamilton Road Uxbridge, UB8 3AJ	Drawn By:	Gurraj Benning
Scale:	Refer to Drawing @ A3	Draw No.:	MSB04 - 01

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Metres



SCALE 1 : 100

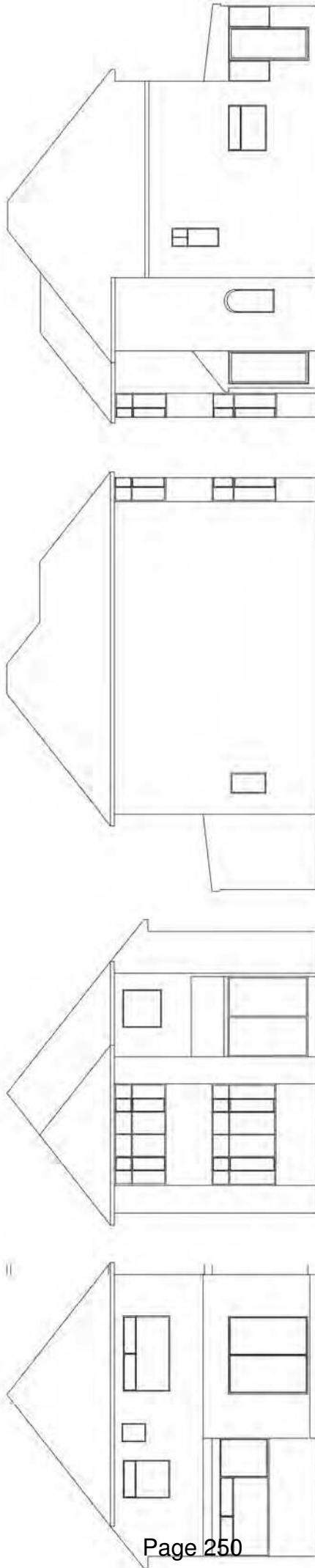
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REV A

Reduce size of dormer and width of roof extension



EXISTING REAR / FRONT & SIDE ELEVATIONS

Scale 1:100

Application:

**HPA - GF rear, front, 2 storey side extension incl
loft conversion with rear dormer**

Client:	Mr T Phipps	Date:	29th March 2016
Site:	61 Hamilton Road Uxbridge, UB8 3AJ	Drawn By:	George Bennett
Scale:	Refer to Drawing @ A3	Dwg No.:	MSB64 - 02A

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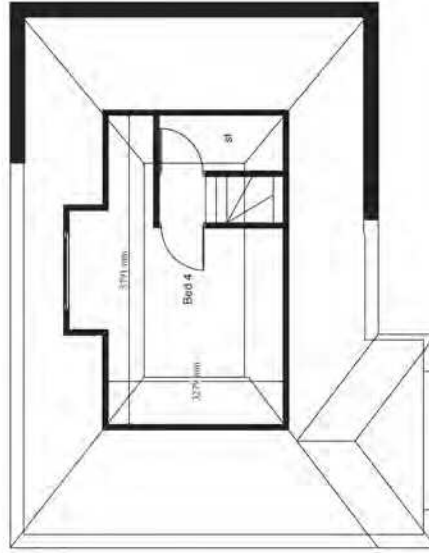
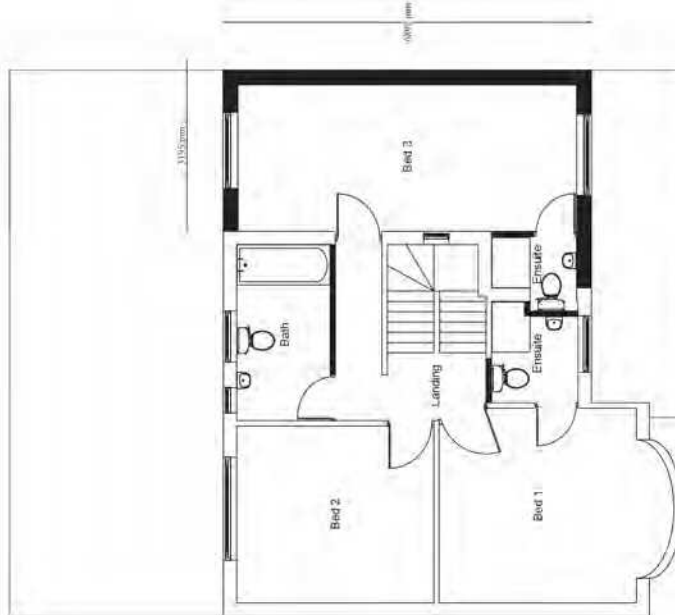
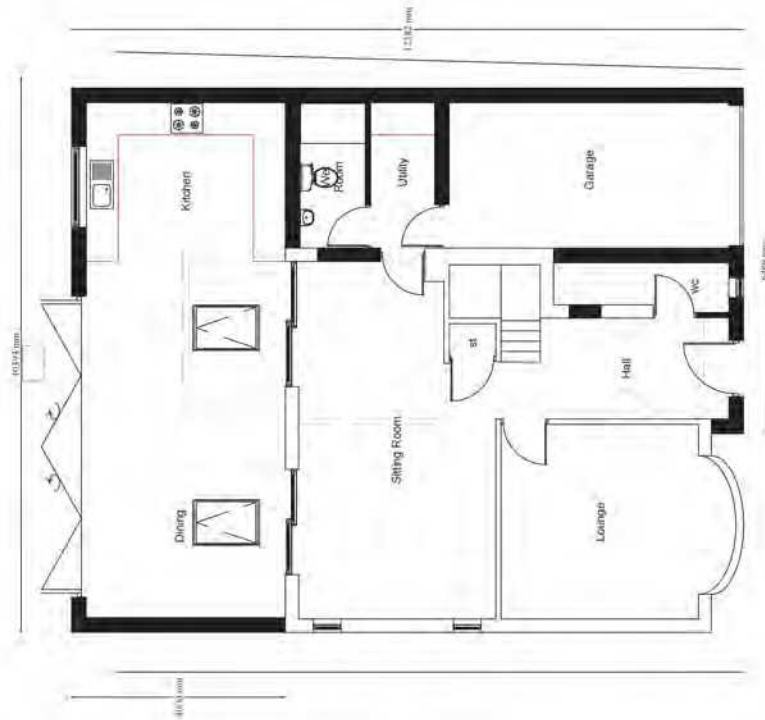
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82a Holyhead Road
Wednesbury
West Midlands
WS10 7PA

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SCALE 1 : 100



REMARKS:

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REV A

Reduce size of dormer and width of side extension

Application:

HPA - GF rear, front, 2 storey side extension incl loft conversion with rear dormer

Client: Mr. T. Pugh Date: 20th March 2016
 Site: 6 Hamilton Road, Clippa Binning Drawn By: Clippa Binning
 Garage UB8 3AU
 Scale: Refer to Drawing @ A3 Dwg No: MSB64 - 03A

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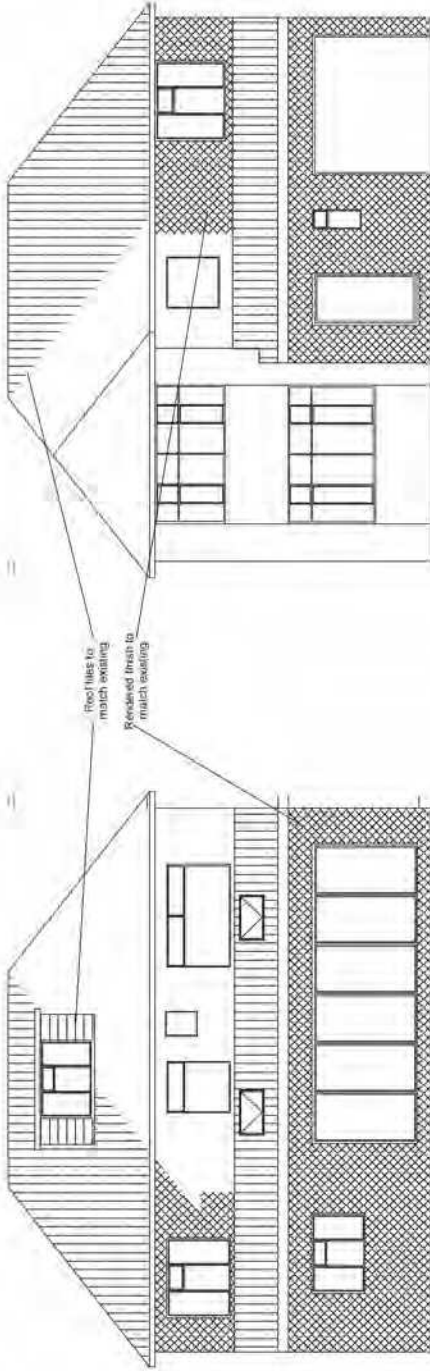
Admin Office
 82a Holyhead Road
 West Kirby
 West Midlands
 WS10 7PA
 Tel: 0121 502 3339 Mob: 07854 351 934
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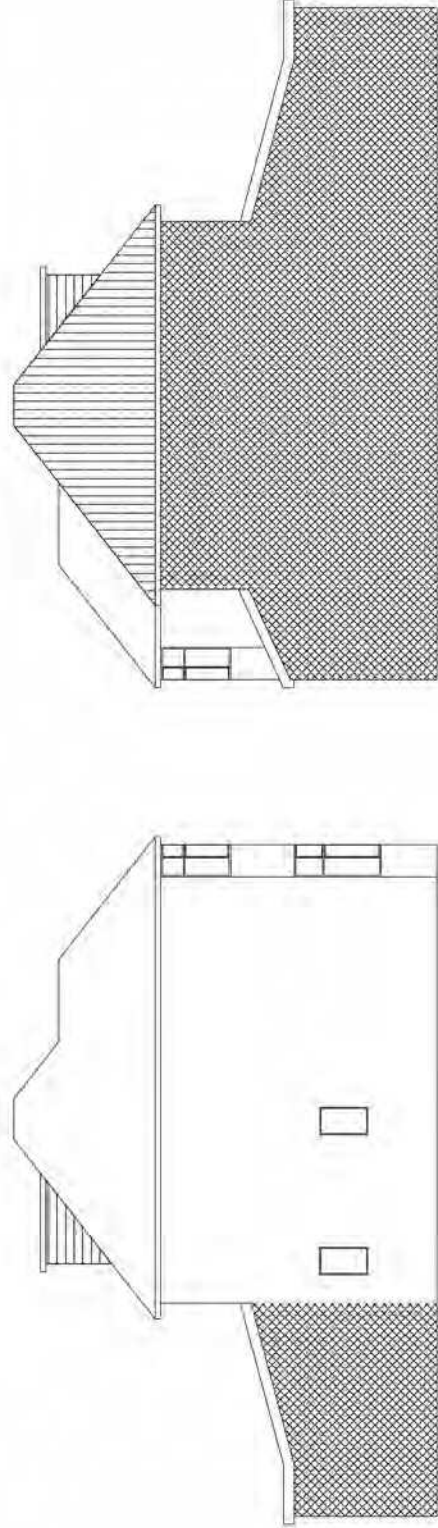
PROPOSED GF / FF LAYOUTS
 Scale 1:100



SCALE 1 : 100



REVNOTES:
 Where building to the boundaries the adjacent owner is to be informed under the terms of the Party Wall Act 1996 and its provisions followed. Where building over boundaries, the adjacent owner is to be served notice under section 85 of the Town & Country Planning Act 1990.
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REV A
 Reduce size of dormer and width of side extension.



PROPOSED REAR / FRONT & SIDE ELEVATIONS
Scale 1:100

Application:
HPA - GF rear, front, 2 storey side extension incl loft conversion with rear dormer
 Client: Mr T Phipps Date: 20th March 2016
 Site: P Hamilton Road, Clusps Barning, Lincs LE15 7PJ Drawn By: Clusps Barning
 Scale: Refer to Drawing @ A3. Draw No: MSB64 - 004

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 82a Holyhead Road
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Site Address:

6 Hamilton Road

Planning Application Ref:
5670/APP/2017/42

Planning Committee:
Central & South

Scale:
1:1,250

Date:
March 2017

LONDON BOROUGH OF HILLINGDON
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



Report of the Head of Planning, Sport and Green Spaces

Address 48 WALLINGFORD ROAD UXBRIDGE

Development: The erection of 2no. detached sheds (Use class B2-B8).

LBH Ref Nos: 71488/APP/2015/4721

Date Plans Received: 23/12/2015

Date(s) of Amendment(s):

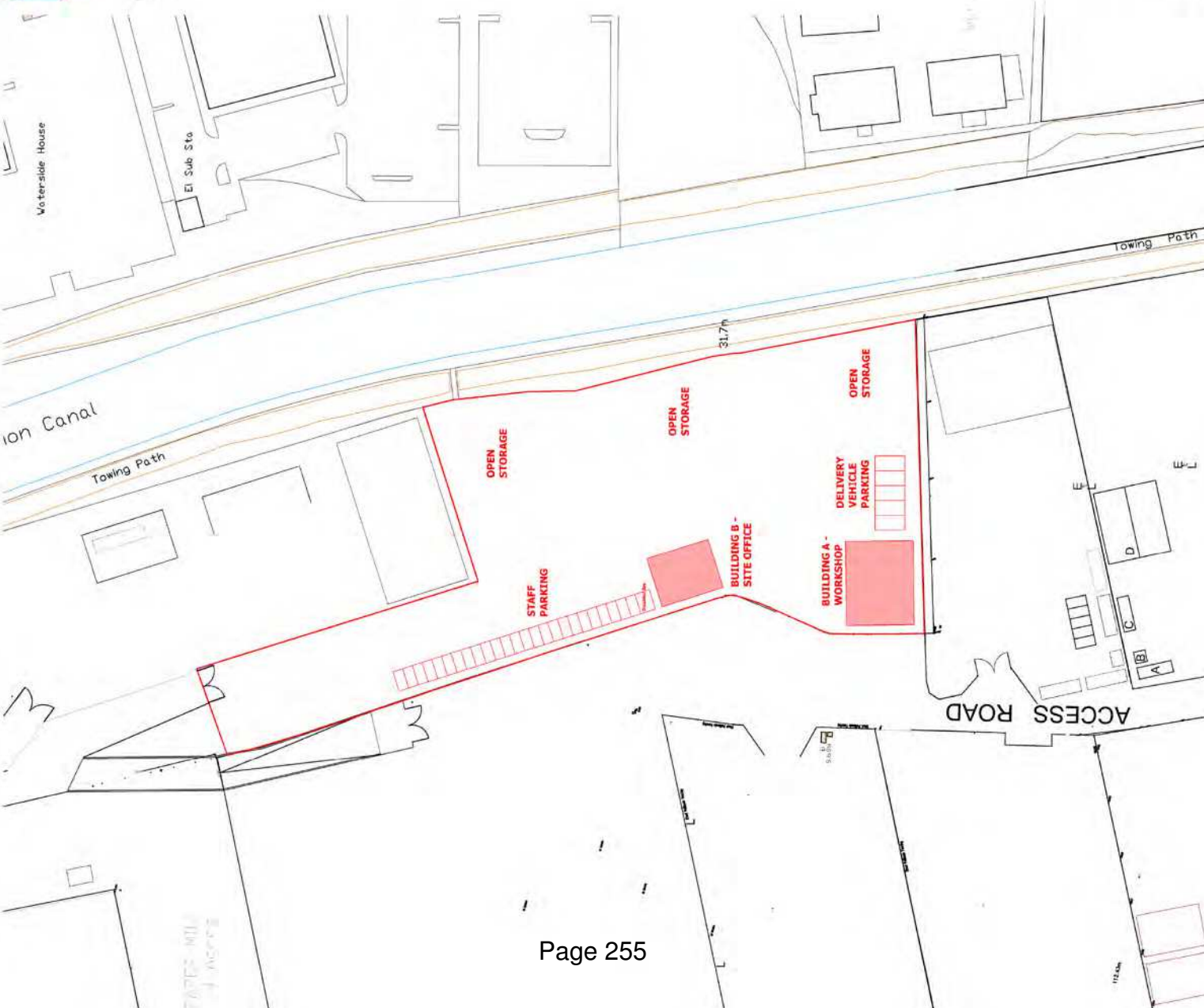
Date Application Valid: 15/01/2016



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2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER RELATED DRAWINGS.

TREDDORS	
HAWKINS EADES ASSOCIATES	
ARCHITECTURAL PLANNING & DESIGN CONSULTANTS	
	
100 High Street Great Macclesfield Cheshire SK10 7PQ Tel: (01484) 891553/891668 Fax: (01484) 891222 email: info@hawkinseades.co.uk	
CLIENT	Drescom Services Ltd
PROJECT	Proposed Block Upgrade Waterside Block Upgrade
TITLE	Block and Location Plan
DRAWN BY	AT 3046
DATE	Nov 15
SCALE	1:500 & 1:1250
CHECKED BY	USE
All dimensions must be read in conjunction with the Authority's Scalebar (m) 1:250	

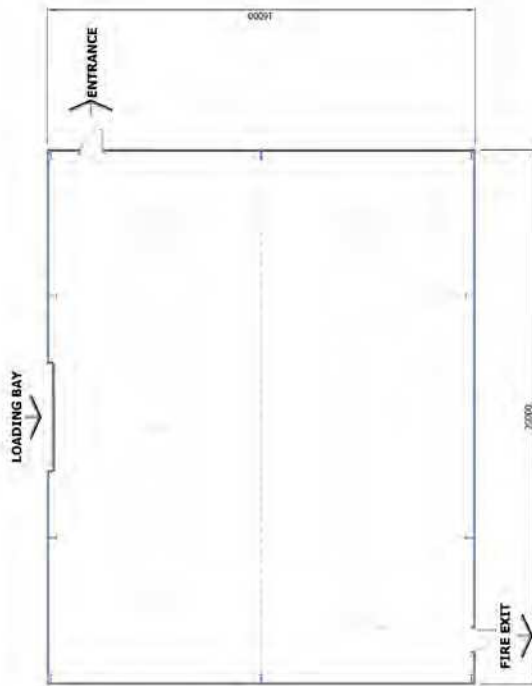
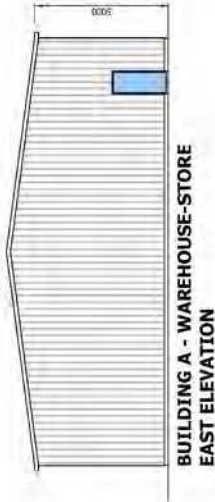
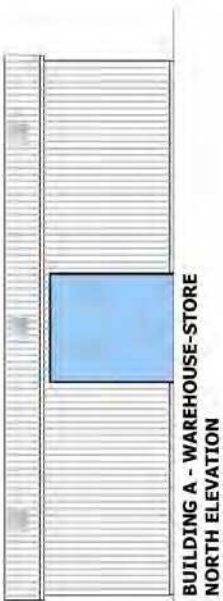


BLOCK PLAN 1:500

Notes

Materials.

1. Roofing, Preformed Steel Cladding
2. Walls Preformed Steel Cladding

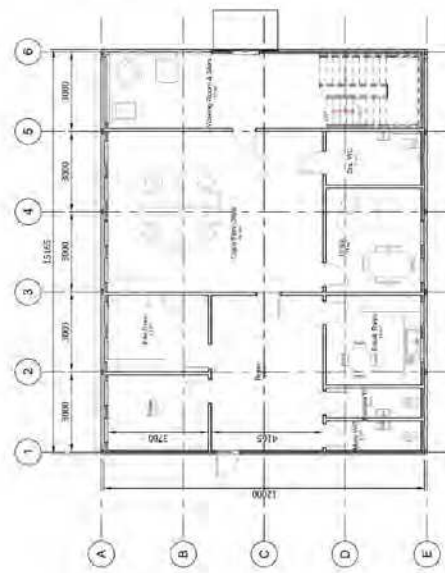


**BUILDING A - WAREHOUSE-STORE
FLOOR PLAN
SCALE 1:100
AREA - 320m²**

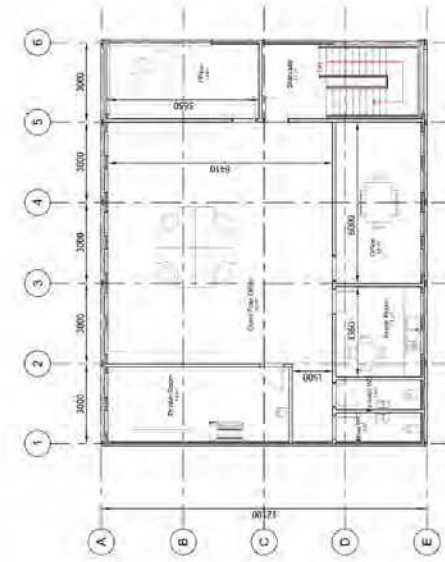


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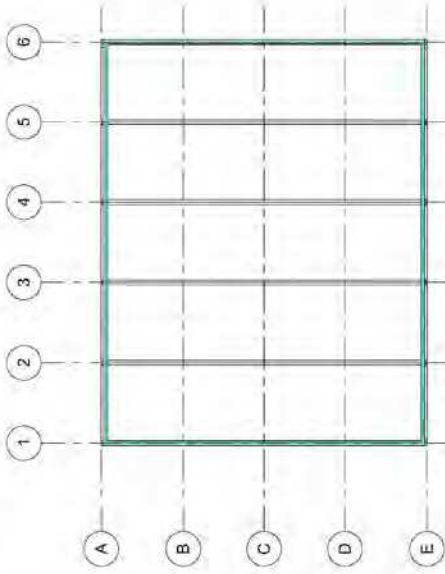
REVISIONS	
HAWKINS EADES ASSOCIATES ARCHITECTURAL PLANNING & DESIGN CONSULTANTS 100 High Street South Westwood Bury St Edmunds Suffolk IP11 0BE Tel: (01484) 891555/891155 Fax: (01484) 891332 Email: info@hawkeades.co.uk	
CLIENT: Deacon Services Ltd PROJECT: Warehouse Conversion ADDRESS: Warehouse Conversion Location: South Westwood, Suffolk	
TITLE: Warehouse Conversion Warehouse Floor Plans and Elevations	
DATE: 15 Nov 15	SCALE: 1:100
DRAWN BY: A	CHECKED BY: A
DRAWING NO: N1	3040
PLA	UP
© HAWKINS EADES ASSOCIATES	



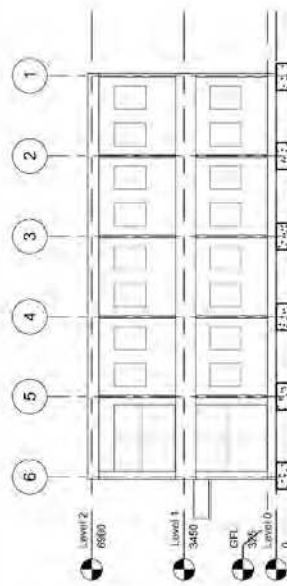
**SITE OFFICE
GROUND FLOOR PLAN
SCALE 1:100**



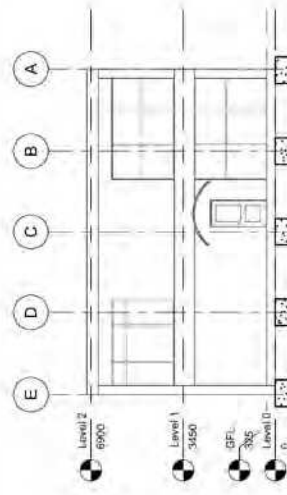
**SITE OFFICE
FIRST FLOOR PLAN
SCALE 1:100**



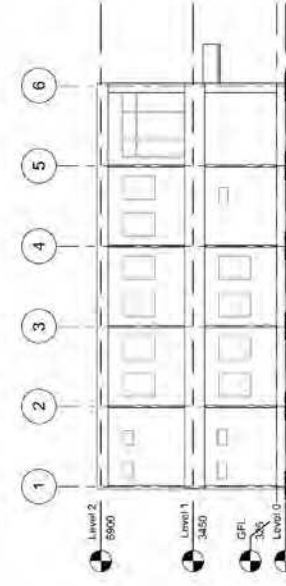
**SITE OFFICE
ROOF PLAN
SCALE 1:100**



**SITE OFFICE
NORTH ELEVATION
SCALE 1:100**



**SITE OFFICE
EAST ELEVATION
SCALE 1:100**



**SITE OFFICE
SOUTH ELEVATION
SCALE 1:100**



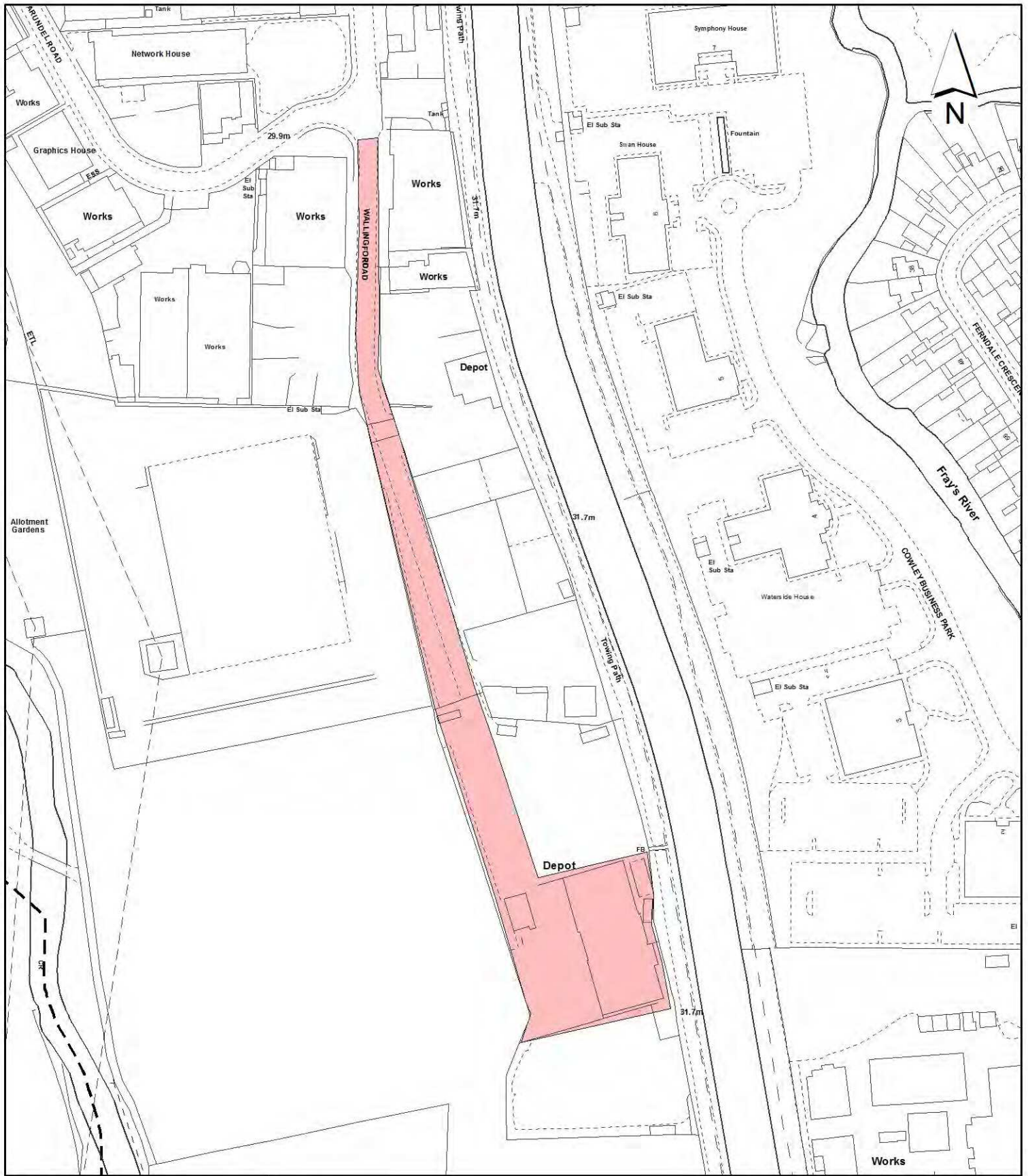
**SITE OFFICE
WEST ELEVATION
SCALE 1:100**

NOTES

1. ALL DIMENSIONS ARE GIVEN IN MILLIMETRES UNLESS OTHERWISE STATED.
2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER RELATED DRAWINGS.

REVISIONS	HAWKINS EADIES ASSOCIATES ARCHITECTURAL PLANNING & DESIGN CONSULTANTS 100 High Street South Molton Devon EX36 3HP UK Tel: (01884) 391555/391658 Fax: (01884) 391222 Email: info@hawkinseadies.co.uk		
CHECKED	Deborah Services Ltd	PROJECT	Deborah Services Ltd Woolford Road, Woolford
TITLE	Site Office Floor Plans and Elevations	DATE	Dec 15
DWG No	13460	SCALE	1:100
STATUS	PLA	DATE	1:100
DRAWN BY: [] CHECKED BY: [] ALL DIMENSIONS MUST BE REFERRED TO THE ARCHITECT'S DRAWINGS.			





Notes:

 Site boundary

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Site Address:

48 Wallingford Road

LONDON BOROUGH OF HILLINGDON
Residents Services Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
71488/APP/2015/4721

Scale:
1:2,000

Planning Committee:
Central & South

Date:
March 2017



Report of the Head of Planning, Sport and Green Spaces

Address FOOTPATH OPPOSITE 35 FALLING LANE YIEWSLEY

Development: Installation of 12.5m high telecommunications monopole and associated works (Application for prior approval under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) (England) Order 2015)

LBH Ref Nos: 72106/APP/2017/464

Date Plans Received: 08/02/2017

Date(s) of Amendment(s):

Date Application Valid: 08/02/2017

THESE DRAWINGS COMPLY WITH STANDARD ICNIRP DESIGN GUIDELINES

GENERAL NOTES:

- 1.1) USE WRITTEN DIMENSIONS ONLY
- 1.2) ALL DIMENSIONS ARE IN MM UNLESS SPECIFIED
- 1.3) ASSUME ALL SITE DETAILS ARE EXISTING UNLESS SPECIFIED

H	CONTRACT AND LOCATION	DATE	BY	APP
G	CONTRACT POSITION NUMBER	28.12.15	AP	GD
F	CONTRACTOR NAME	15.03.15	AP	GD
E	STRUCTURE TYPE APPROVED	22.07.15	AP	GD
D	STRUCTURE TYPE APPROVED	15.07.15	AP	GD
C	WINDING NUMBER APPROVED	13.07.15	AP	GD
B	SITE LOCATION NUMBER	15.03.15	AP	GD
A	PROJECT NAME	20.03.15	AP	GD
REV	ISSUE	DATE	BY	APP

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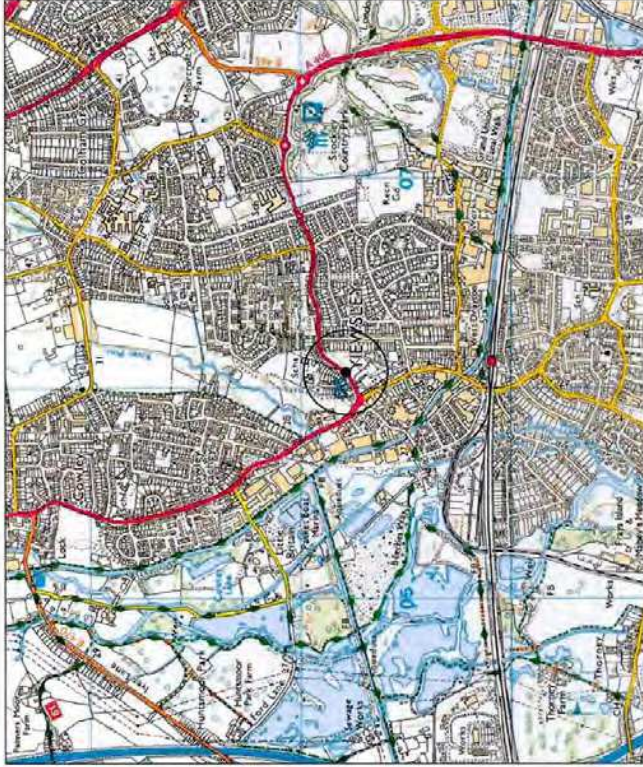


O₂ CTIL

OPERATOR REF NO:	CTIL# 224215	TEF:	78782
OPERATOR:	CTIL		
DRAWING TITLE:	SITE LOCATION MAPS		
SCALE:	AS SHOWN		
SHE NO.:	78782		
SHE NAME:	FALLING LANE		
SITE ADDRESS:	FALLING LANE WEST DRAYTON MIDDLESEX UB7 8AA		
OS GRID REFERENCE:	505957180729		
DRAWN BY:	DN	GD	APP: GD
DATE:	03.05.16		
SITE NO.:	OPERATOR	DRG NO.	REVISION
78782	CTIL	100	H

ORIGINAL DRAWING SET: A3

SITE LOCATION



SITE LOCATION (SCALE 1:25000)

SITE LOCATION



SITE LOCATION (SCALE 1:1250)

DIRECTIONS TO SITE:

HEADING CLOCKWISE ON M25

AT JUNCTION 15 TAKE SLIP ROAD FOR THE M4 TOWARDS LONDON.
AFTER 2.1 MILES TAKE JUNCTION 4. AT THE ROUNDABOUT TAKE THE
FIRST EXIT ONTO A408 STOCKLEY ROAD. STAY ON STOCKLEY ROAD
FOR 0.3 MILE GOING THROUGH 4 ROUNDABOUTS. SITE IS ON THE
LEFT AFTER 2.0 MILES.



LOCATION PHOTOGRAPH

ALL MAPS OBTAINED VIA PROMAP.
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GENERAL NOTES:
 1.1) USE WRITTEN DIMENSIONS ONLY
 1.2) ALL DIMENSIONS ARE IN MM UNLESS SPECIFIED
 1.3) ASSUME ALL SITE DETAILS ARE EXISTING UNLESS SPECIFIED



REV	ISSUE	DATE	DN	APP
H	CABINET AND POLE LOCATION MARKING	22.02.17	UP	LD
G	CABINET POSITIONING/VIEWED	16.12.16	UP	LD
F	CONSTRUCTION MARK	03.08.16	UP	LD
E	TEMPORARY TREE MARKING	22.02.16	UP	LD
D	STRUCTURE TYPE MARKING	14.07.16	UP	LD
C	WITNESS MARKING MARKED	02.03.16	UP	LD
B	WIT LOCATION MARKED	27.06.14	UP	LD
A	PROT MARK	03.03.16	UP	LD

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OPERATOR REF NO:	CTIL# 234315	TEF: 38742
OPERATOR:	CTIL	
DRAWING TITLE:	SITE LAYOUT PLAN	
	PROPOSED	
SCALE:	1:250	
SITE NO:	78782	
SITE NAME:	FALLING LANE SW	
SITE ADDRESS:	FALLING LANE WEST DRAYTON MIDDLESEX UB7 8AA	
OS GRID REFERENCE:	505957180729	
DRAIN NP:	OK GD	APP GD
DATE:	03.05.16	
SITE NO:	OPERATOR:	DESIGN:
78782	CTIL	201
		REVISION:
		H

PROPOSED SITE LAYOUT PLAN (SCALE 1:250)

GENERAL NOTES:

- 1.1) USE WRITTEN DIMENSIONS ONLY
- 1.2) ALL DIMENSIONS ARE IN MM UNLESS SPECIFIED
- 1.3) ASSUME ALL SITE DETAILS ARE EXISTING UNLESS SPECIFIED

REV	ISSUE	DATE	DRN	APP
A	FIRST ISSUE	23.03.16	AP	GD
B	SITE LOCATION REBUILT	23.03.16	AP	GD
C	WITNESS BURIALS AMENDED	13.03.16	AP	GD
D	STRUCTURAL TYPE AMENDED	13.03.16	AP	GD
E	STRUCTURE TYPE AMENDED	23.03.16	AP	GD
F	CONSTRUCTION ISSUE	13.03.16	AP	GD
G	CABLE POSITION REBUILT	24.03.16	AP	GD
H	CABLE AND RAIL LOCATION AMENDED	22.03.17	SM	GD

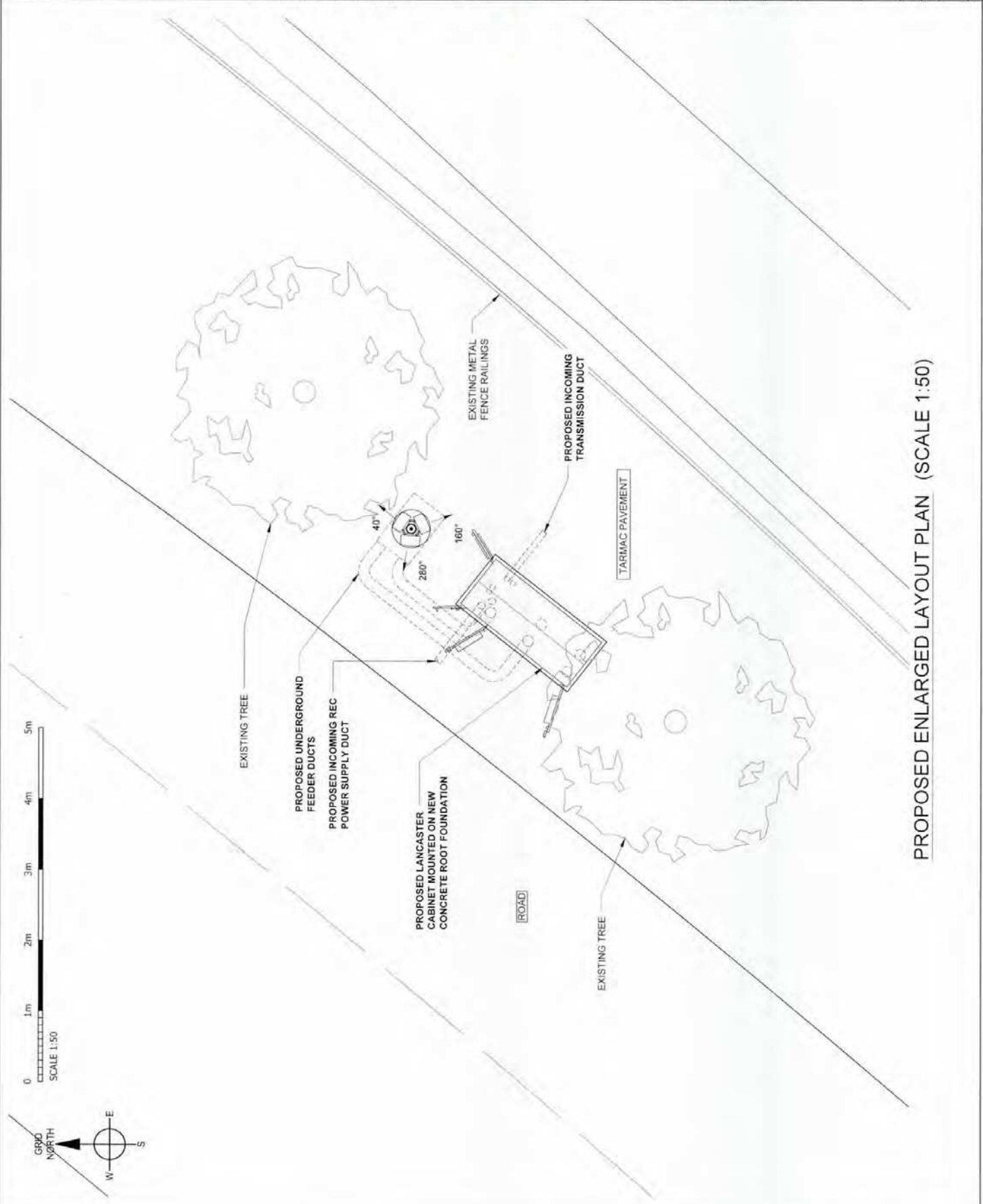
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NET COVERAGE SOLUTIONS
 CHAVEN COURT
 STANHOPE ROAD
 SURREY GU14 5BS
 TEL: +44(0)1718 544448
 FAX: +44(0)1718 544405

O₂
CTIL

OPERATOR REF NO:	CTILG 204315	TEF:	18782
OPERATOR:	CTIL		
DRAWING TITLE:	ENLARGED LAYOUT PLAN PROPOSED		
SCALE:	1:50		
SITE NO.:	78782		
SITE NAME:	FALLING LANE		
SITE ADDRESS:	FALLING LANE WEST DRAYTON MIDDLESEX UB7 8AA		
OS GRID REFERENCE:	505957/180729		
DESIGN NP:	CHK GD	APP GD	GD
DATE:	03.05.16		
SITE NO.:	OPERATOR:	DRG NO.:	REV/SKID
78782	CTIL	401	H



PROPOSED ENLARGED LAYOUT PLAN (SCALE 1:50)

GENERAL NOTES:

- 1.1) USE WRITTEN DIMENSIONS ONLY
- 1.2) ALL DIMENSIONS ARE IN MM UNLESS SPECIFIED
- 1.3) ASSUME ALL SITE DETAILS ARE EXISTING UNLESS SPECIFIED

H	CHANGING POLE LOCATION	24.02.17	06	06
G	CHANGING POSITION REVIEWED	06.12.16	06	06
F	CONSTRUCTION ISSUE	13.09.16	06	06
E	STRUCTURE TYPE AMENDED	22.07.16	06	06
D	STRUCTURE TYPE AMENDED	15.07.16	06	06
C	ANTENNA BRAND/HEIGHT	13.07.16	06	06
B	SITE LOCATION NUMBER	21.06.16	06	06
A	PREP ISSUE	20.05.16	06	06
REV	ISSUE	DATE	BY	APP

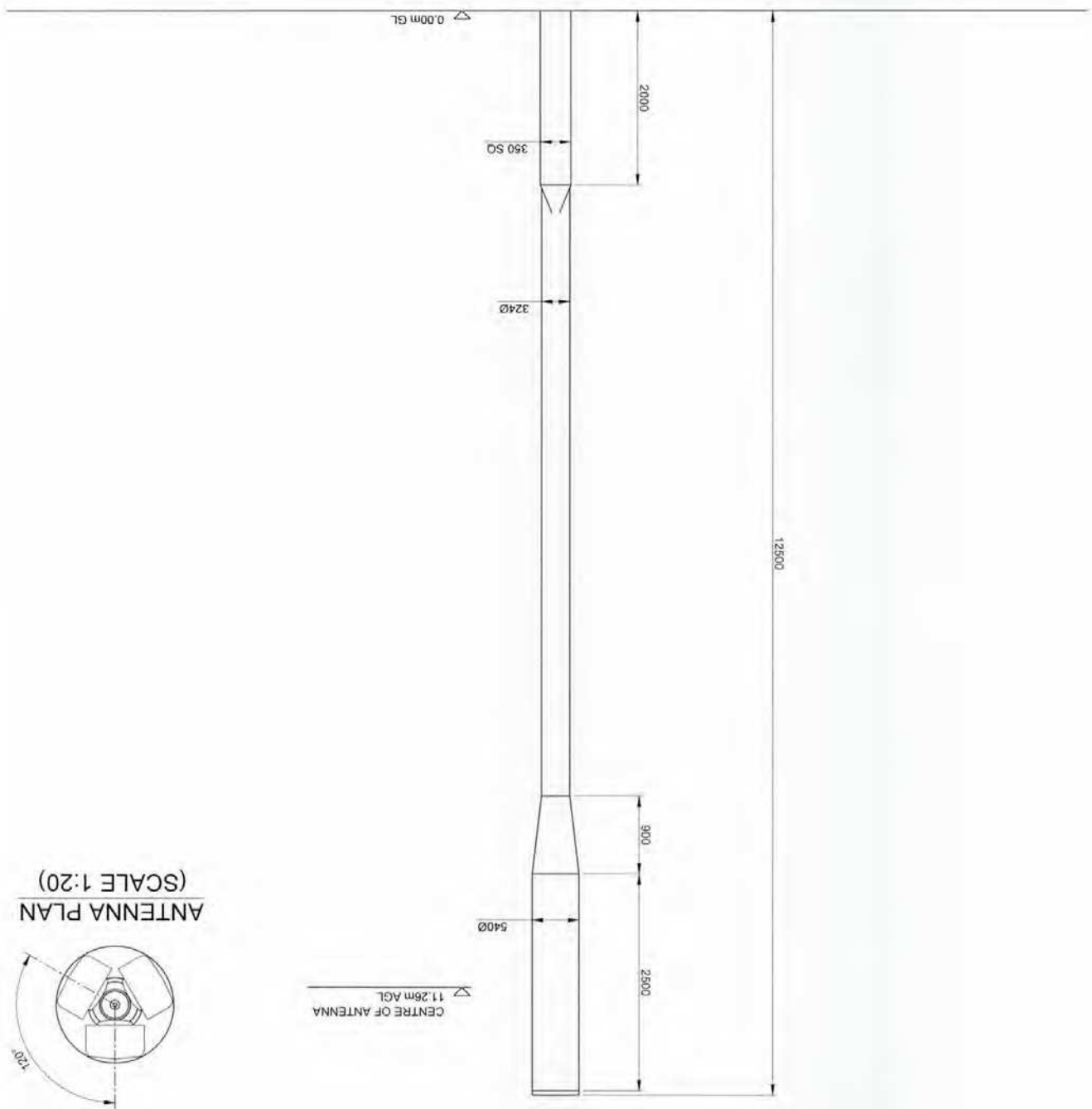
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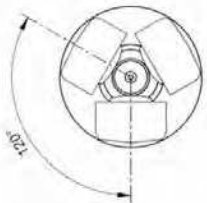
OPERATOR REF NO:	CTILK: 234315	TEF: 78782
OPERATOR:	CTIL	
DRAWING TITLE:	TELEFONICA ELARA 12.5m HIGH ANTENNA SUPPORT POLE DETAIL PROPOSED	
SCALE:	1:50 1:20	
SITE NO:	78782	
SITE NAME:	FALLING LANE	
SITE ADDRESS:	FALLING LANE WEST DRAYTON MIDDLESEX UB7 8AA	
COORD REFERENCE:	508957/180729	
ISSUED BY:	DK: GD	APP: GD
DATE:	03.05.16	
SHEET NO:	OPERATOR:	DWG NO:
	78782	CTIL - 404
		REVISED:
		H

ORIGINAL DRAWING SEE A3

TELEFONICA ELARA 12.5m HIGH ANTENNA SUPPORT POLE DETAILS (SCALE 1:50)



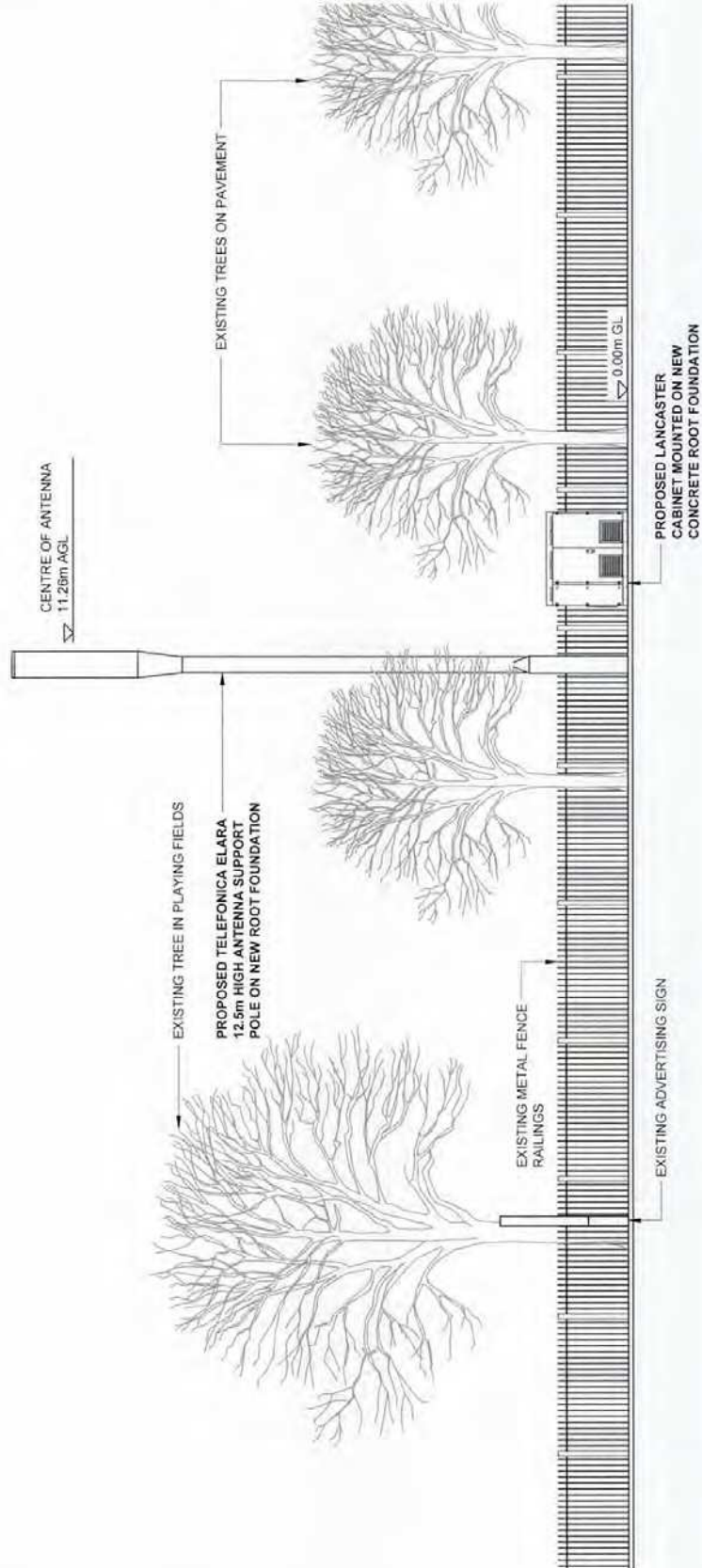
ANTENNA PLAN (SCALE 1:20)



THESE DRAWINGS COMPLY WITH STANDARD ICNIRP DESIGN GUIDELINES.

GENERAL NOTES:

- 1.1) USE WRITTEN DIMENSIONS ONLY
- 1.2) ALL DIMENSIONS ARE IN MM UNLESS SPECIFIED
- 1.3) ASSUME ALL SITE DETAILS ARE EXISTING UNLESS SPECIFIED



PROPOSED NORTH-WEST ELEVATION (SCALE 1:100)

H	CABINET AND POLE COORDINATE	22.03.17	DR	LD
G <td>CABINET POSITION REVISION</td> <td>08.10.16</td> <td>MP</td> <td>LD</td>	CABINET POSITION REVISION	08.10.16	MP	LD
F <td>CONSTRUCTION ISSUE</td> <td>03.08.15</td> <td>MP</td> <td>LD</td>	CONSTRUCTION ISSUE	03.08.15	MP	LD
E <td>DIRECTION TYPE AMENDED</td> <td>22.03.16</td> <td>DR</td> <td>LD</td>	DIRECTION TYPE AMENDED	22.03.16	DR	LD
D <td>STRUCTURE TYPE AMENDED</td> <td>18.07.16</td> <td>MP</td> <td>LD</td>	STRUCTURE TYPE AMENDED	18.07.16	MP	LD
C <td>ANTENNA BEARING AMENDED</td> <td>12.02.16</td> <td>MP</td> <td>LD</td>	ANTENNA BEARING AMENDED	12.02.16	MP	LD
B <td>SITE LOCATION NUMBER</td> <td>27.06.16</td> <td>MP</td> <td>LD</td>	SITE LOCATION NUMBER	27.06.16	MP	LD
A <td>FIRST ISSUE</td> <td>23.06.16</td> <td>MP</td> <td>LD</td>	FIRST ISSUE	23.06.16	MP	LD
REV	ISSUE	DATE	DR	APP

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NET COVERAGE SOLUTIONS
 CHRYSLER COURT
 STANHOPE ROAD
 SURREY GU14 3SS
 TEL: 01483 786445
 FAX: 01483 786445

O₂
CTIL

OPERATING SITE NO.	234315	TEP: 78782
OPERATOR	CTIL	
DRAWING TITLE	NORTH-WEST ELEVATION PROPOSED	
SCALE	1:100	
SITE NO.	78782	
SITE NAME	FALLING LANE	
SITE ADDRESS	FALLING LANE WEST DRAYTON MIDDLESEX UB7 8AA	
OS GRID REFERENCE	509557190729	
DRAWN	NP	CHK GD
DATE	03.05.16	APP GD
SITE NO.	OPERATOR	DRG NO.
78782	CTIL	301
REVISION		
H		
ORIGINAL DRAWING SEE A3		

GENERAL NOTES:

- 1.1) USE WRITTEN DIMENSIONS ONLY
- 1.2) ALL DIMENSIONS ARE IN MM UNLESS SPECIFIED
- 1.3) ASSUME ALL SITE DETAILS ARE EXISTING UNLESS SPECIFIED

H	CARPET FLOOR LOCATION	0.02 M	0.02 M	0.02 M
G	CARPET FLOOR HEIGHT	0.02 M	0.02 M	0.02 M
F	CONSTRUCTION BOUNDARY	0.02 M	0.02 M	0.02 M
E	STRUCTURE TYPE MARKER	0.02 M	0.02 M	0.02 M
D	STRUCTURE TYPE MARKER	0.02 M	0.02 M	0.02 M
C	ANTENNA BLANKING AREA ZONE	0.02 M	0.02 M	0.02 M
B	RFI LOCATION REFERENCE	0.02 M	0.02 M	0.02 M
A	RFI REFERENCE	0.02 M	0.02 M	0.02 M
REV	ISSUE	DATE	BY	APP

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O₂
CTIL

OPERATOR REF NO: CTILR: 230315 TEL: 78782

OPERATOR: CTIL

DRAWING TITLE: ICNIRP PLAN CONSTRUCTION

SCALE: 1:150

SITE NO: 78782

SITE NAME: FALLING LANE

SITE ADDRESS: FALLING LANE
WEST DRAYTON
MIDDLESEX
UB7 8AA

OS GRID REFERENCE: 506557180729

DRAWN BY: NP

CHEK BY: GD

APP: GD

DATE: 03.05.16

SHEET NO: 78782

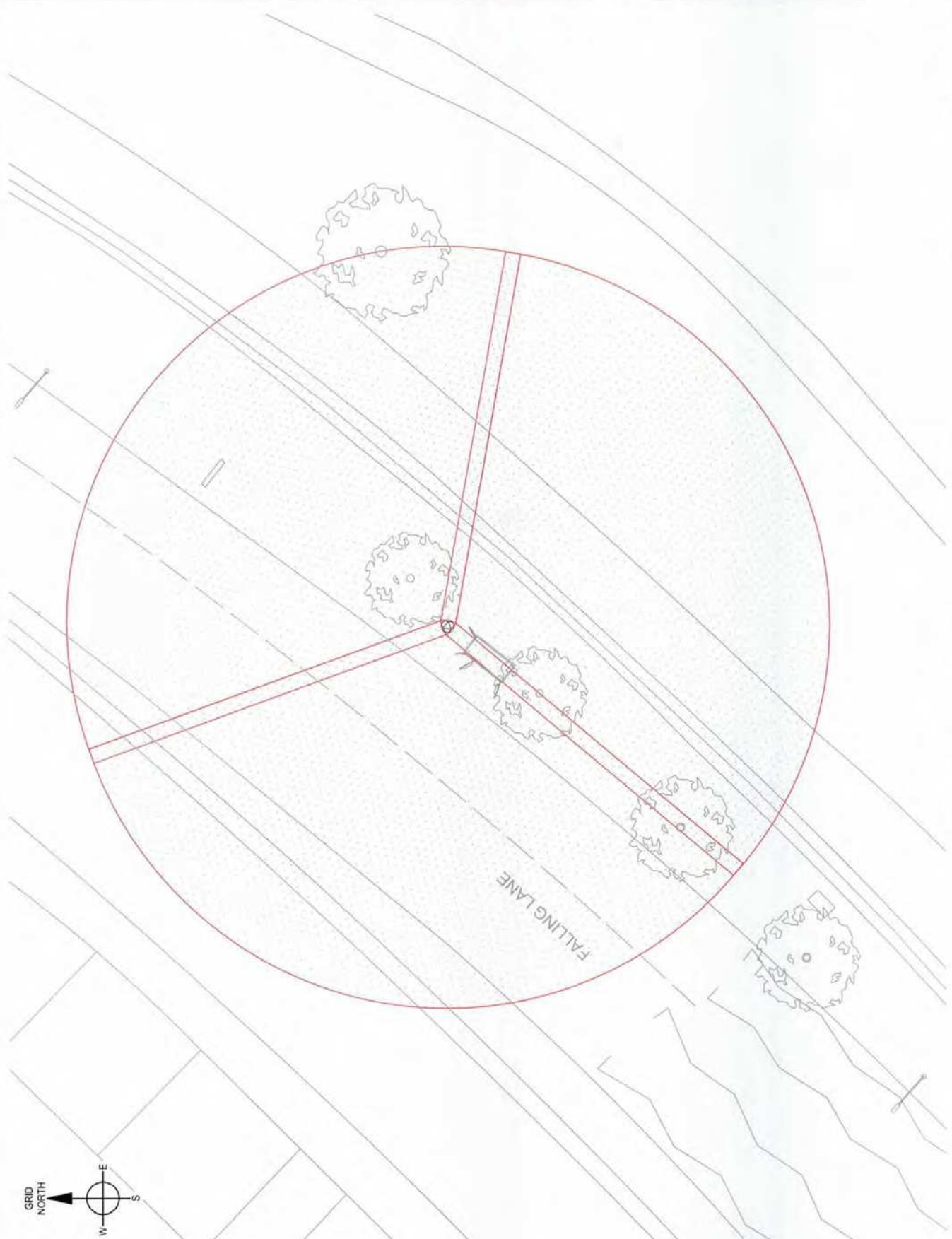
OPERATOR: CTIL

REVISION: - 801 - H

SCALE 1:150



PROPOSED ICNIRP PLAN (SCALE 1:150)



GENERAL NOTES:

- 1.1) USE WRITTEN DIMENSIONS ONLY
- 1.2) ALL DIMENSIONS ARE IN MM UNLESS SPECIFIED
- 1.3) ASSUME ALL SITE DETAILS ARE EXISTING UNLESS SPECIFIED

H	CANOPY MATERIAL (OPTION)	03.02.17	08	00
G	CANOPY POSITION REVIEW	04.02.18	04	00
F	CONSTRUCTION	03.04.18	04	00
E	STRUCTURE TYPE ANCHORS	22.01.18	08	00
D	STRUCTURE TYPE ANCHORS	18.01.18	04	00
C	ANTENNA ELEMENTS ANCHORS	02.02.18	04	00
B	RFI LOCATION REVIEW	25.04.18	04	00
A	RFI REVIEW	02.04.18	04	00
REV	ISSUE	DATE	ISSN	APP

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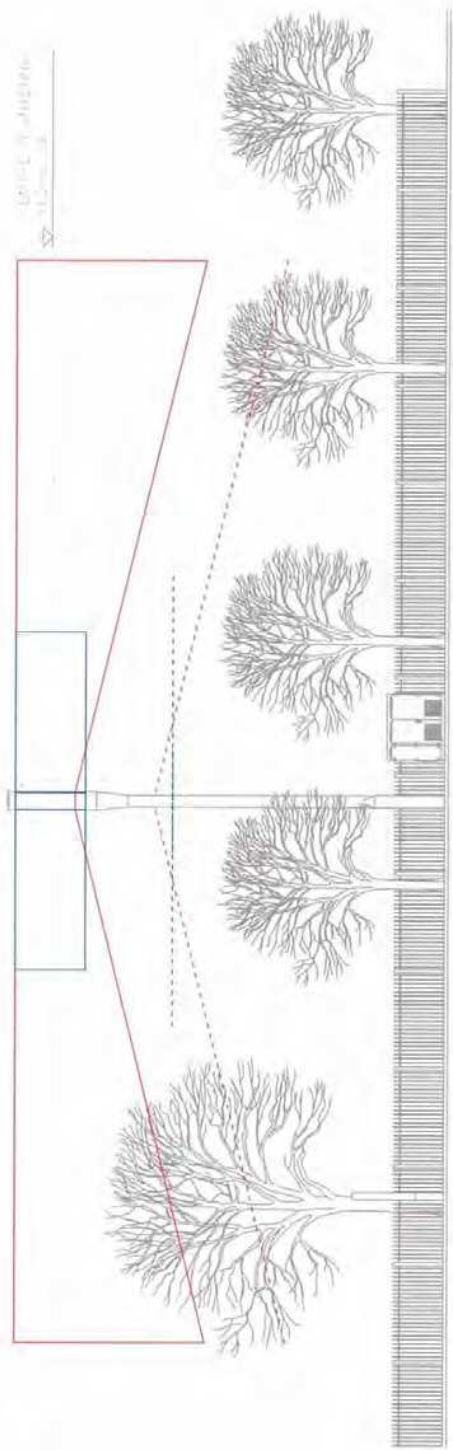


NET COVERAGE SOLUTIONS
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 SURREY GU14 3BS
 TEL: +44 (0)1726 864466
 FAX: +44 (0)1726 824666

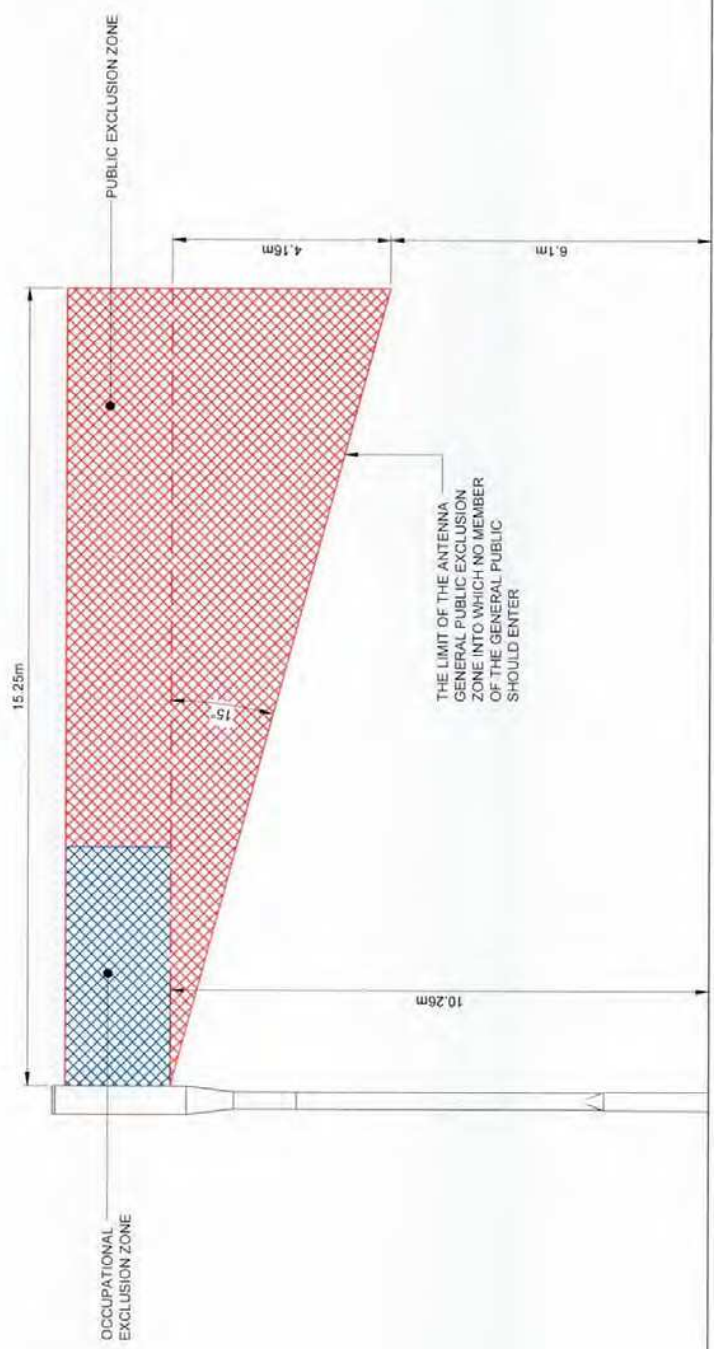
O₂
CTIL

OPERATOR REF NO:	CTIL: 224315	TEF:	70762
OPERATOR:	CTIL		
DRAWING TITLE:	ICNIRP ELEVATION AND DETAILS CONSTRUCTION		
SCALE:	AS SHOWN		
SITE NO.:	78782		
STEWARDE:	FALLING LANE		
SITE ADDRESS:	FALLING LANE WEST DRAYTON MIDDLESEX UB7 8AA		
CG OPERERENCE:	505557180729		
DRAMA NP:	DRK GD	APP GD	GD
DATE:	03.05.18		
SITE NO:	OPERATOR:	DRG NO.:	REVISION:
78782	CTIL	802	H

ORIGINAL DRAWING SEE: A3



PROPOSED ICNIRP ELEVATION (SCALE 1:150)



ICNIRP DETAILS - STREET FURNITURE STANDARD OCCUPATIONAL AND PUBLIC CASE 2 (NTS)

GENERAL NOTES:

- 1.1) USE WRITTEN DIMENSIONS ONLY
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- 1.3) ASSUME ALL SITE DETAILS ARE EXISTING UNLESS SPECIFIED

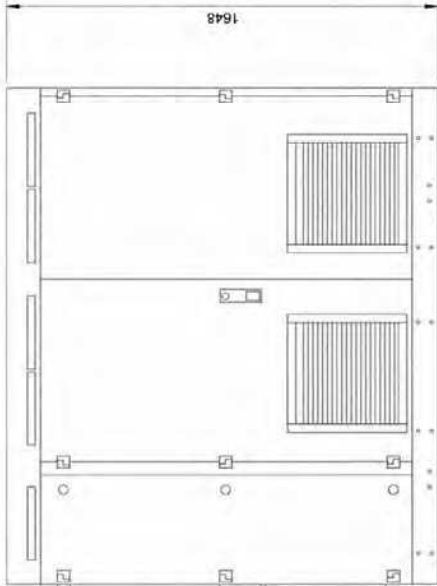
H	CABINET LOCATION/AVAILABILITY	REQ'D BY	REQ'D DATE
G	CABINET POSITION REQUIRED	18/12/16	18/12/16
F	EXTERIOR/INTERIOR	18/12/16	18/12/16
E	STRUCTURE TYPE MARKED	18/12/16	18/12/16
D	STRUCTURE TYPE MARKED	18/12/16	18/12/16
C	RETURN AIR/FLOW MARKED	18/12/16	18/12/16
B	SITE LOCATION MARKED	18/12/16	18/12/16
A	PROJECT NAME	DATE	APP
REV	ISSUE	DATE	APP

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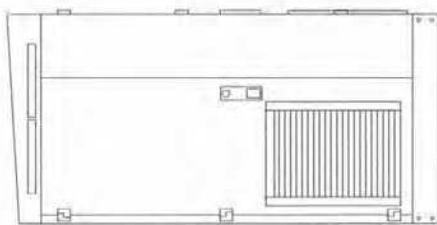


O₂
CTIL

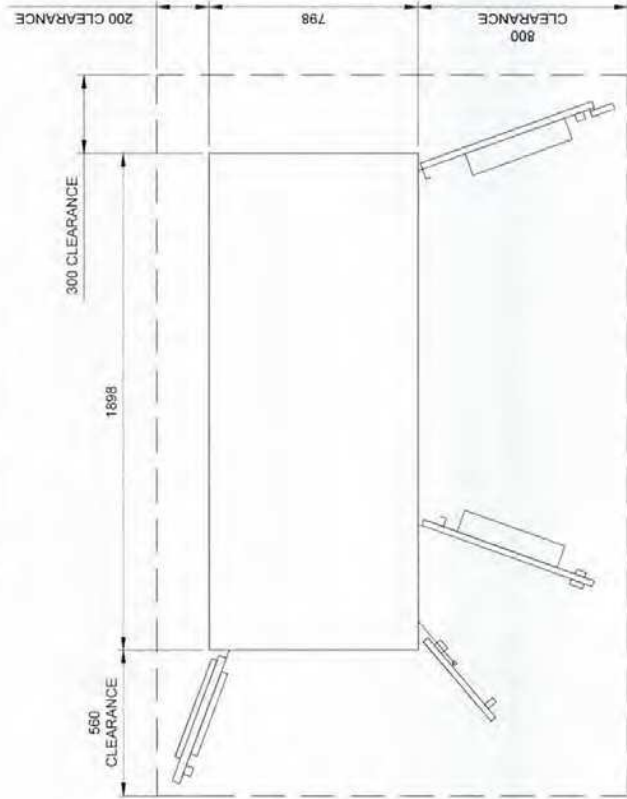
OPERATOR REF NO:	CTIL# 234315	TEF:	78782
OPERATOR:	CTIL		
DRAWING TITLE:	LANCASTER EQUIPMENT CABINET DETAILS PROPOSED		
SCALE:	1:20		
SITE NO.:	78782		
SITE NAME:	FALLING LANE		
SITE ADDRESS:	FALLING LANE WEST DRAYTON MIDDLESEX UB7 8AA		
CG ORDER REFERENCE:	505957180729		
DRAWN NP:	CHK GD:	APP:	GD
DATE:	03.05.16		
SHEET NO.:	OPERATOR:	DWG NO.:	REVISION:
78782	CTIL	403	H



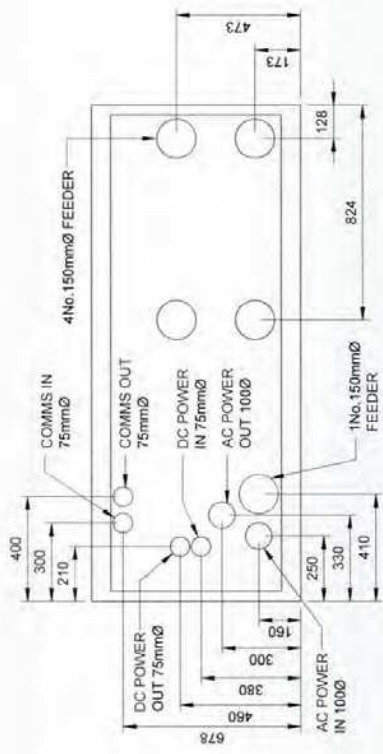
FRONT ELEVATION



SIDE ELEVATION



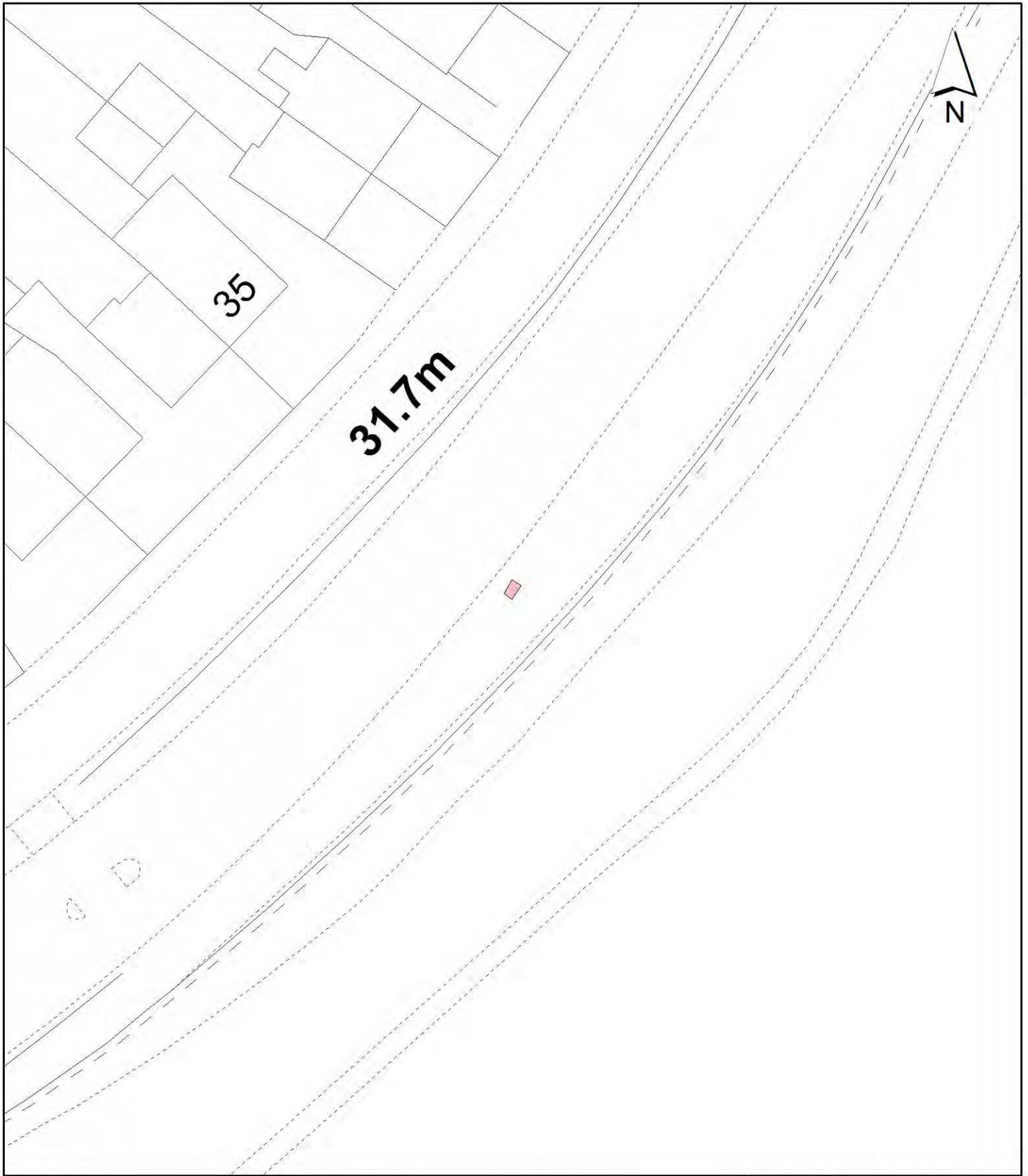
PLAN



DUCT POSITIONS

LANCASTER EQUIPMENT CABINET DETAILS (SCALE 1:20)

ORIGINAL DRAWING SEE: A3



Notes:

 Site boundary

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Site Address:

**Footpath Opposite
 35 Falling Lane**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:

72106/APP/2017/464

Scale:

1:350

Planning Committee:

Central & South

Date:

March 2017



HILLINGDON
 LONDON

Report of the Head of Planning, Sport and Green Spaces

Address LESSER BARN HUBBARDS CLOSE HILLINGDON

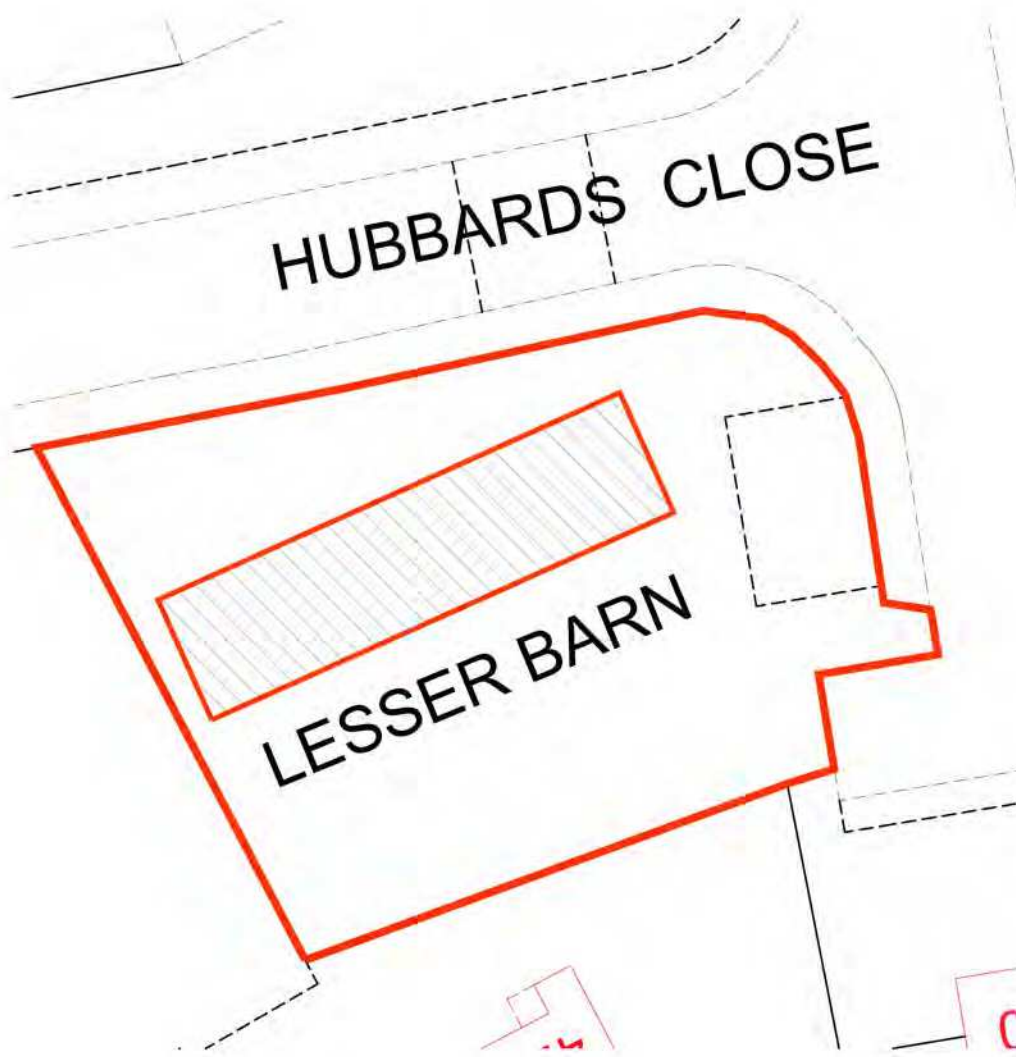
Development: Rebuilding of existing barn with internal and external alterations to create two three-bedroom dwellings with associated parking and landscaping

LBH Ref Nos: 5971/APP/2016/3922

Date Plans Received: 24/10/2016

Date(s) of Amendment(s):

Date Application Valid: 24/10/2016



Site Block Plan i:200



Site Location Plan i:1250

	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Site Location Plan Site Block Plan	Scale: 1:100 @ A3 Date: 05 2013 Drawing No.: 2688 - 15/MP Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		

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SITE PLAN
SCALE 1:100

REFERENCE DRAWINGS

NO.	DATE	REVISIONS	BY	CHKD BY



Unit 4 The Galleries
129 High Street, Liverpool
L1 1JY
Tel: 0151 906 0218
E-mail: info@orangekey.co.uk

Client: JAMES DANIEL CONSTRUCTION

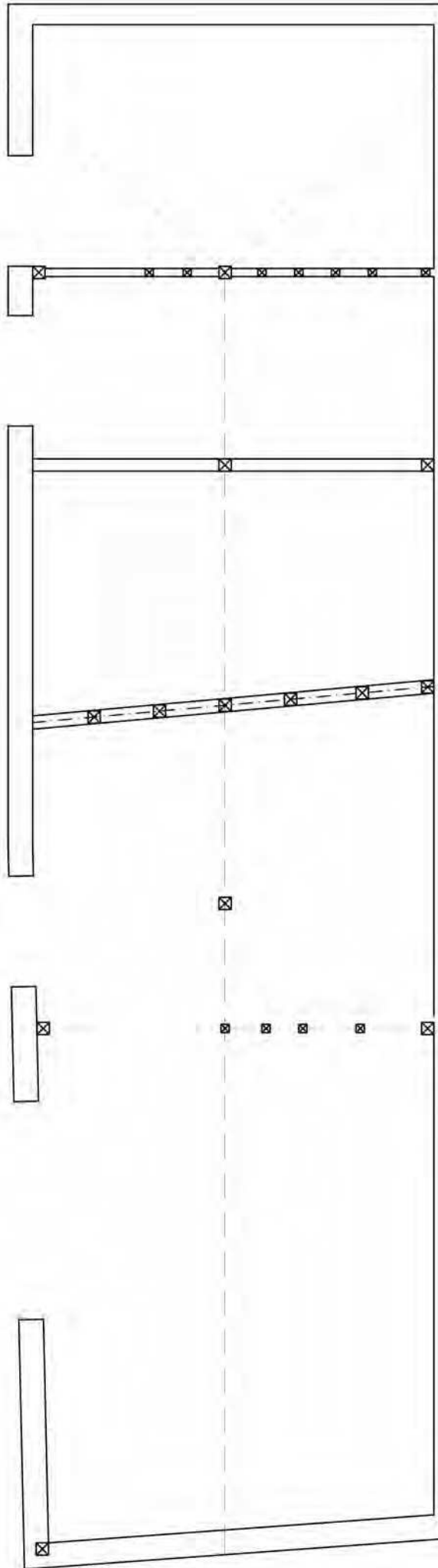
Project: LESSER BARN
HUBBARDS FARM
WEST DRAYTON

Name: SITE PLAN

Date: AS SHOWN @ A1
Author: [blank]
Checked By: [blank]
Reviewed By: [blank]

Drawing Number: 16092/001

Rev: [blank]



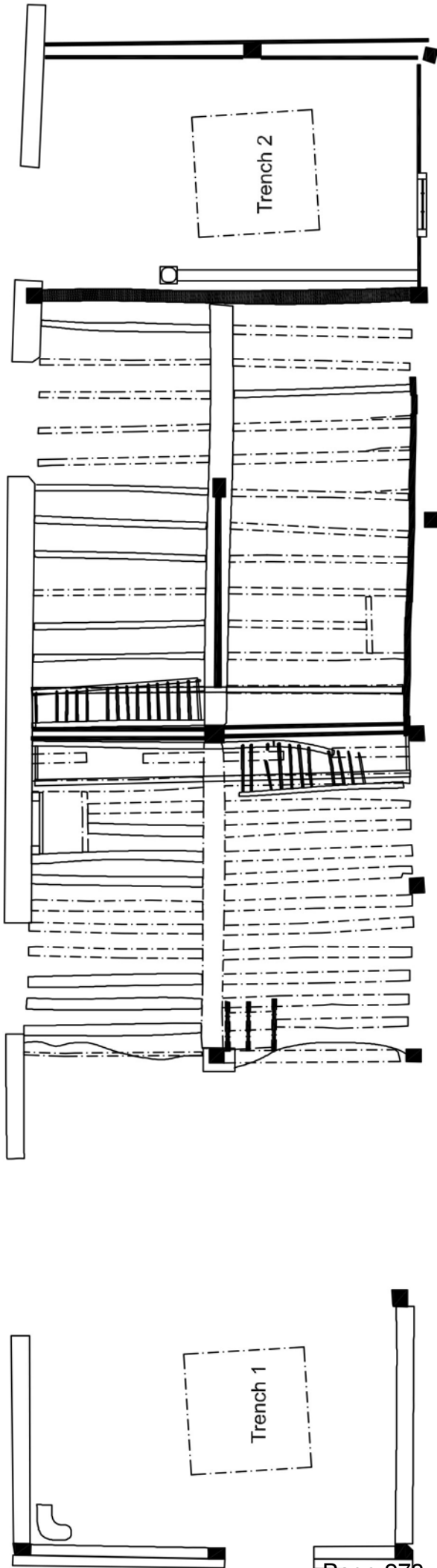
Existing Ground Floor Plan

Scale 1:50

Note:
 Existing Plan shows the outline
 of the existing structure prior to
 any subsequent partial collapse
 or dismantling of walls, or timberwork



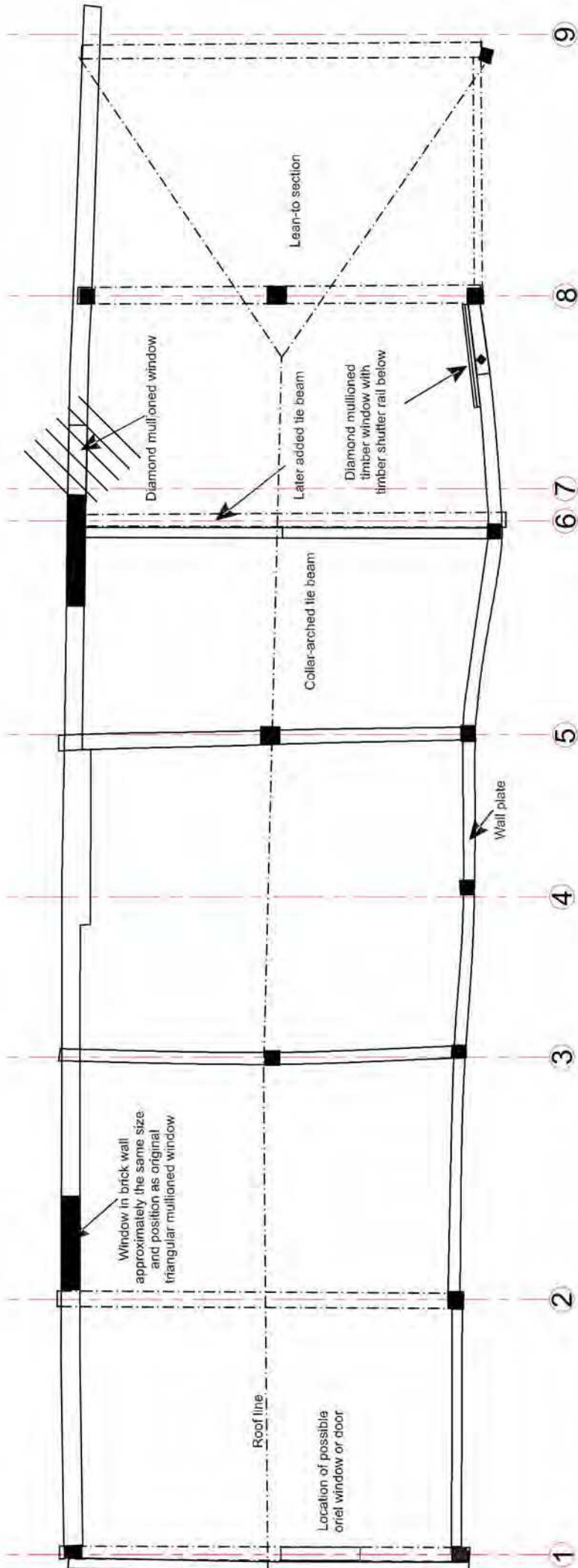
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			Date: 05/2013
		Drawing No.: 2888 - 01/MP	Revision
			1 2 3 4 5 6 7 8 9 10
239 Western Road, Southall, Middx, UB8 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



Note:
 Existing Plan shows the existing outline plan as issued by Penny Copeland & HP and based on survey dated August 2006 and shows the existing structure prior to any subsequent partial or complete collapse or dismantling of walls, or timber work
 For clarity only the main walls and framing are shown



	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Penny Copeland Survey Ground Floor Plan	Scale: 1:50 @ A3 Date: 05 2013 Drawing No.: 2688 - 016/MP							
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Hubbard's Farm Lesser Barn: First Floor Plan
 Survey carried out by PEC & HP August 2006
 Dimensions for construction purposes to be checked on site

McCurdy & Co. Ltd. Manor Farm, Stanford Dingley, Reading, Berks. RG7 6LS
 Penny Copeland, Holmwood, Chapel Road, Swanmore, Hants. SO32 2QA

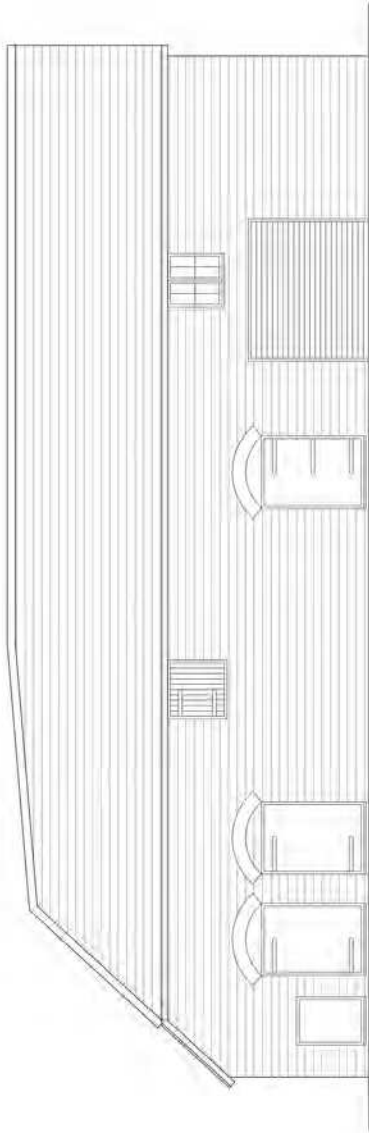
Key

- Structural post
- ▣ Brick
- ▤ Tie Beam
- ▥ Site of mullioned window

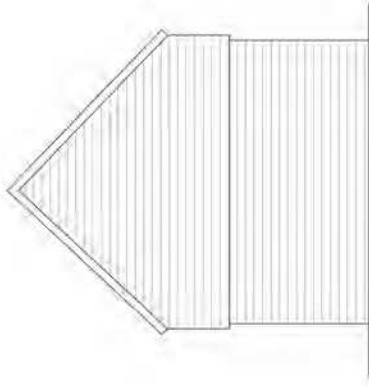
Note:
 Existing Plan shows the existing outline plan as issued by Penny Copeland & HP and based on survey dated August 2006 and shows the existing structure prior to any subsequent partial or complete collapse or dismantling of walls, or timber work
 For clarity only the main walls and framing are shown



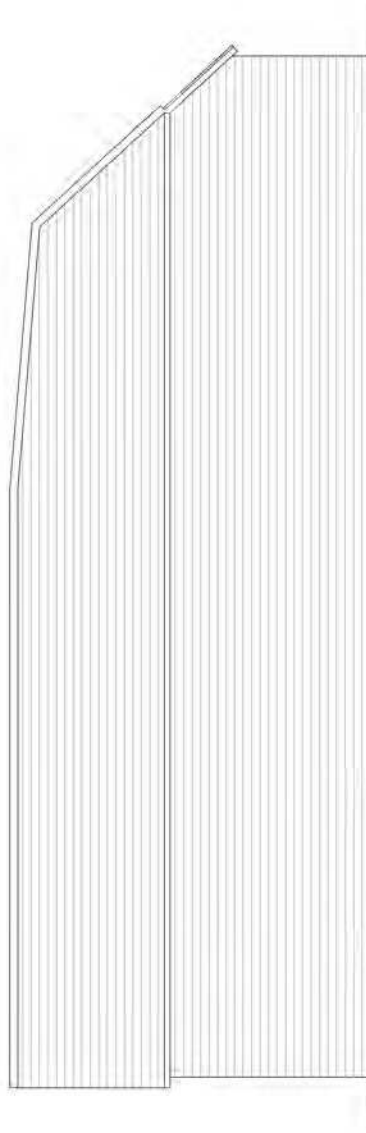
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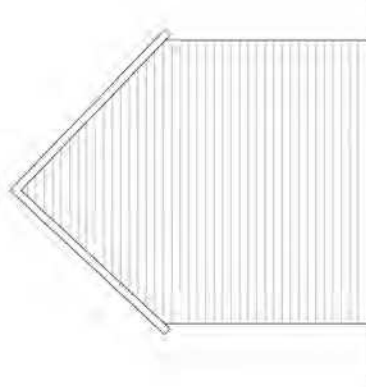
Existing East Elevation
Scale 1:100



Existing South Elevation
Scale 1:100



Existing West Elevation
Scale 1:100

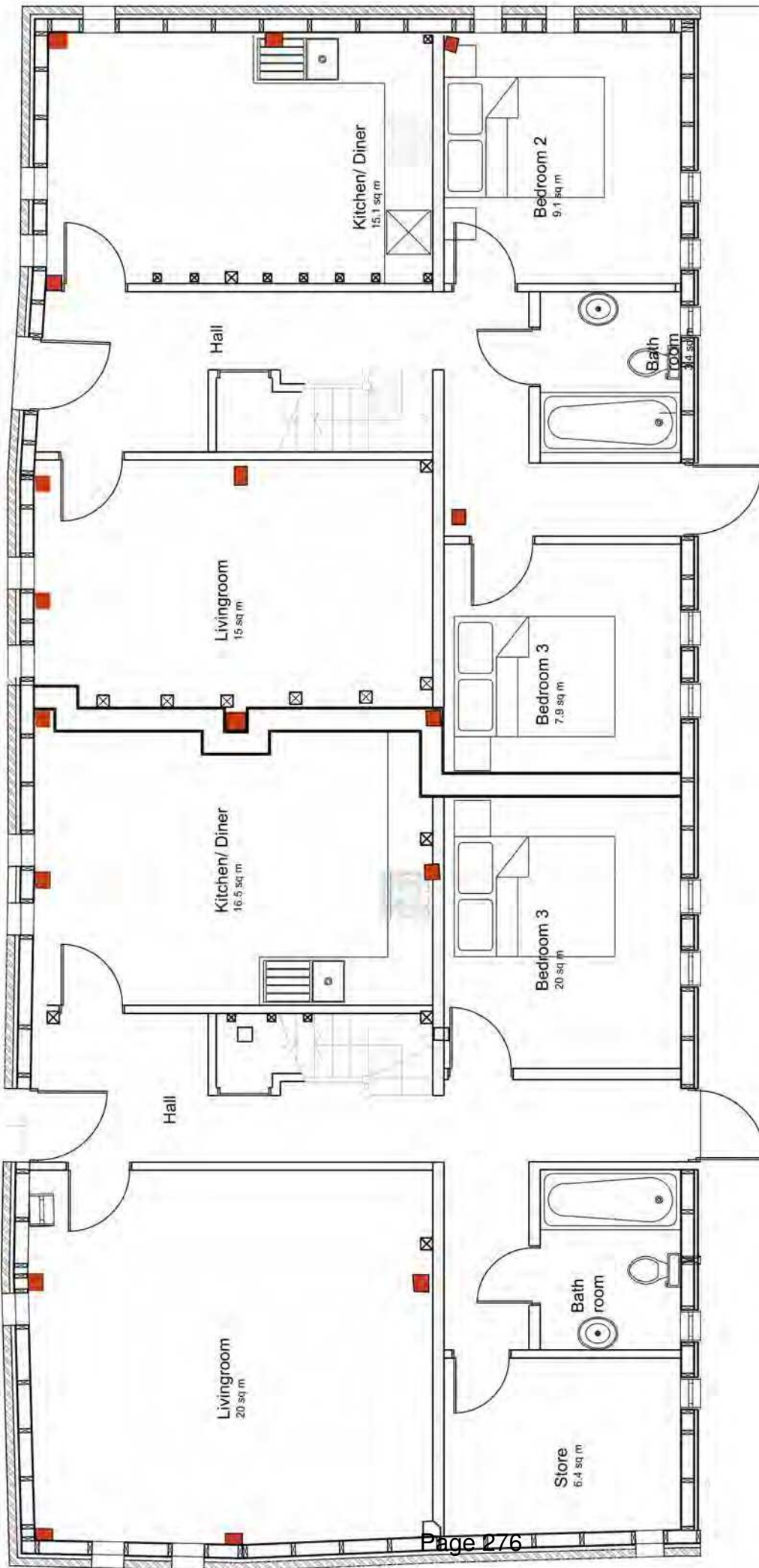


Existing North Elevation
Scale 1:100

Note
Existing elevations will mean the structure as existing prior to any partial or complete collapse of the fabric



	Project: Lisser Barn Hubbarbs Farm West Drayton UB8	Title: Existing Elevations	Scale: 1:100 @ A3 Date: 05 2013 Drawing No.: 2888 - 02/MP Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		

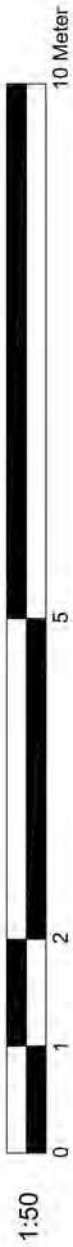


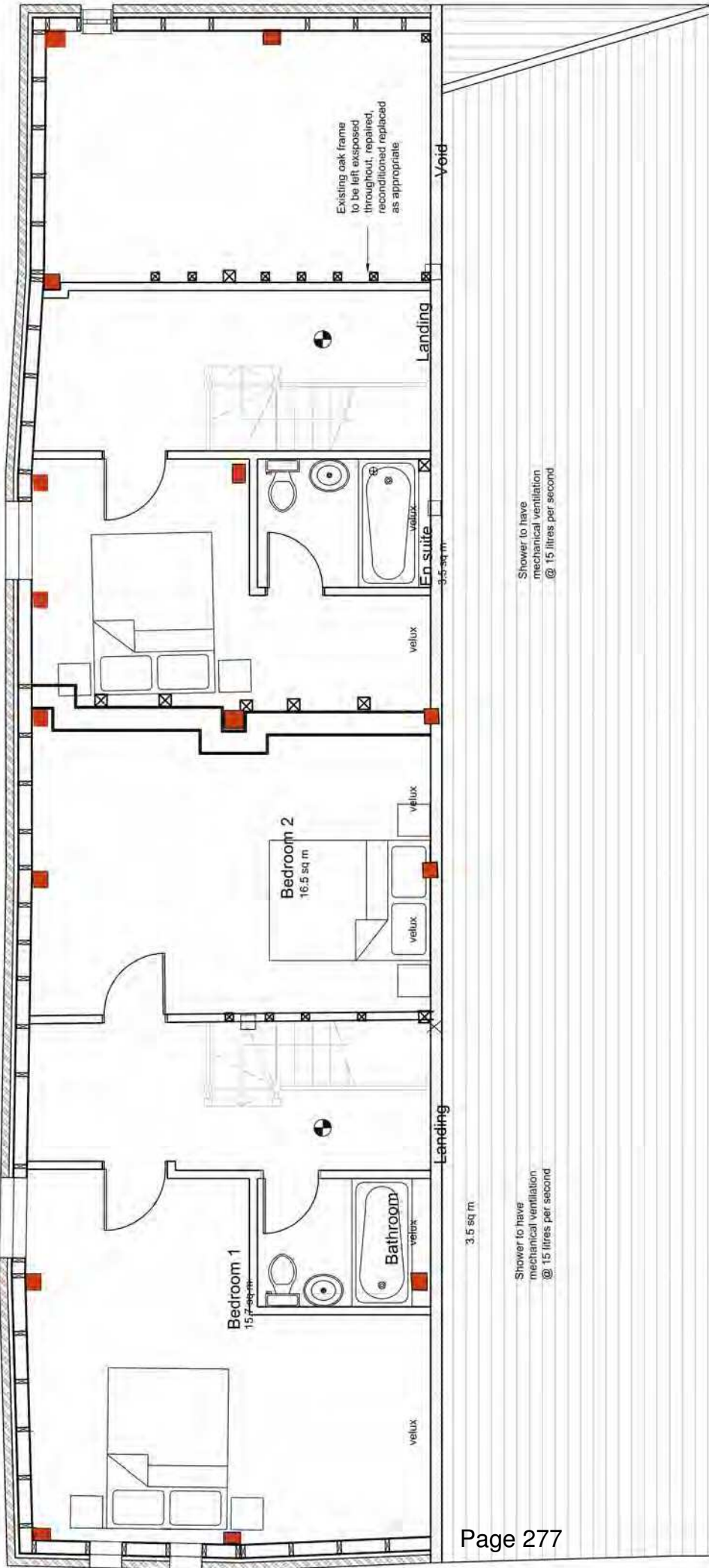
① ② ③ ④ ⑤ ⑥ ⑦ ⑧ ⑨

Note
 R3: Ex column & window positions amended
 Wall construction amended

Note
 R3: Ex column & window positions amended
 Wall construction amended

	Project: Lesser Barn Huoburbs Farm West Drayton UB8	Title: Proposed Ground Floor Plan	Scale: 1:100 @ A3 Date: 04 2013 Drawing No.: 2688 - 03/MP Revision: R3
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		



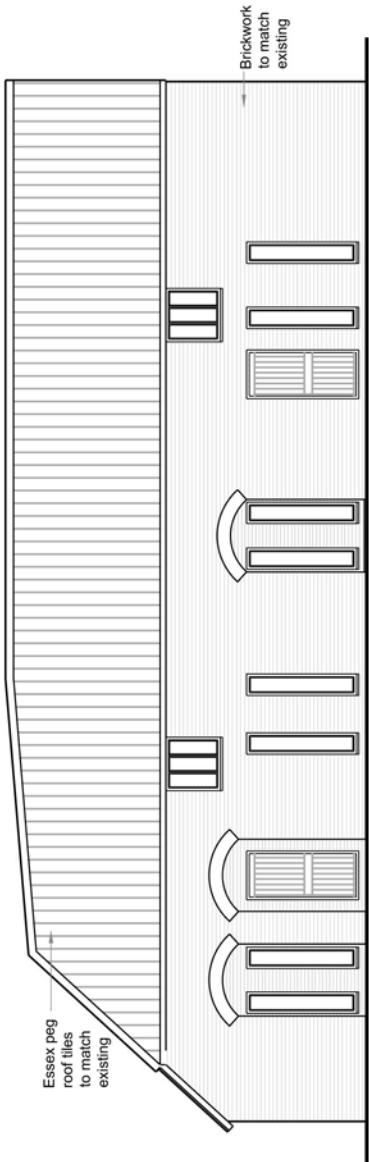


Note
 R3: Ex column & window positions amended.
 Wall construction amended

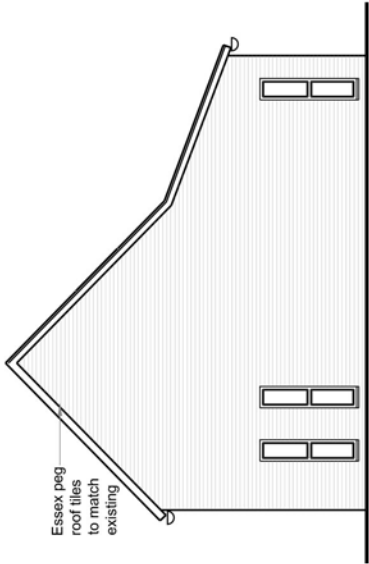
Note
 Position of existing timber posts are shown in approximate locations, and are base on McCurdy & Co site survey dated Feb 2014. On the completion of the dated workshop survey and remedial work report, the exact position of the columns will be finalised



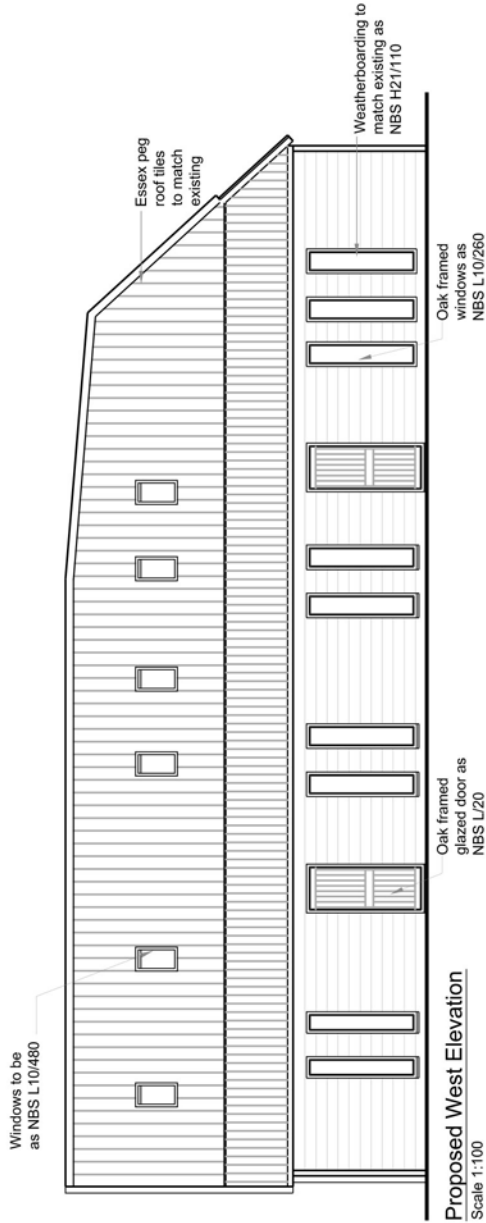
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			Date: 04 2013 Drawing No.: 2688 - 04/MP Revision R3
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



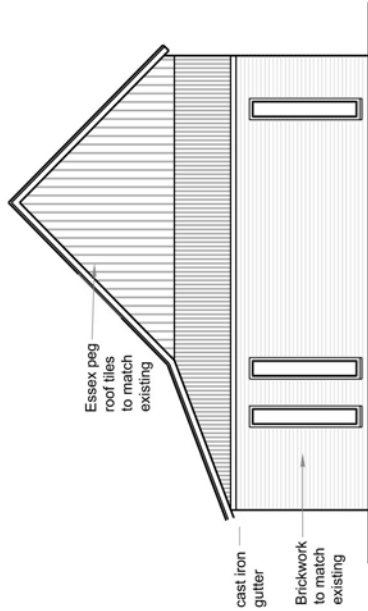
Proposed East Elevation
Scale 1:100



Proposed South Elevation
Scale 1:100



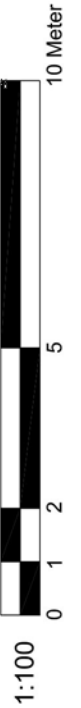
Proposed West Elevation
Scale 1:100



Proposed North Elevation
Scale 1:100

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	Project: Lesser Barn Hubbarbs Farm West Drayton UB8	Title: Proposed Elevations	Scale: 1:100 @ A3 Date: 05_2013 Drawing No.: 2688 - 14/MP
	Revision R3	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008	



Trench Foundations

750mm x 600mm trench fill foundations, concrete mix to conform to BS EN 206-1 and BS 8500-2. All foundations to be a minimum of 1000mm below ground level, exact depth to agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1/2 and BS 8004:1986 Code of Practice for Foundations. Ensure foundations are constructed below invert level of any adjacent drains. Base of foundations supporting internal walls to be min 600mm below ground level. Suitable resistant cement to be used if required. Please note that should any adverse soil conditions or difference in soil type be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advice of a structural engineer should be sought.

Timber Suspended Floor

Ground preparation - Remove top soil and vegetation, apply total weed killer and 150mm min thick sand blinded hardcore, then either -
 (i) Provide concrete ground cover of at least 100mm thick or
 (ii) Prepare the ground to an even surface and lay a ground cover of concrete at least 50mm thick, on a damp-proof membrane of at least 1200 gauge polyethylene, laid on a bed of fine blinding material.
 Floor construction - min 20mm tongue and groove softwood boards or moisture resistant particle/chipboard grade type C4 to BS EN 312:2010 as required. Lay with staggered joints on 50mm x 200mm C24 grade soft wood joists at maximum 400mm centres, max span 4.83m. Joists to be supported off proprietary galvanized joist hangers built into new masonry walls or fixed to treated timber wall plates resin bolted to walls at 600mm centres. If required, floor joists also to be supported on 100mm x 50mm treated wall plates and DPC fixed to masonry honeycombed sleeper walls built on thickened oversite concrete. Joists to be filled with 110mm Celotex XR4000 fixed with Celotex clips. The top surface of the ground cover under the building shall be above the finished level of the adjoining ground. The underside of the floor joists are not to be less than 150mm above the top of the ground cover. The underside of any wall plate is to be not less than 75mm above the top of the ground cover.

Ventilation of Floor

Provide cross-ventilation under floor to outside air by ventilators in at least 2 opposite external walls of the building. Ventilation openings having an opening area of 1500mm² per metre run of perimeter wall or 500mm² per square metre of floor area whichever gives the greater opening area. All sleeper walls or similar under floor obstructions shall be of honeycombed construction or have similar provision for distribution of ventilation. The under floor space shall be free from debris. Ducts to be sealed using gas proof tap if they pass through the radon barrier.

Walls Below Ground

All new walls to have Class A blockwork below ground level or alternatively semi engineering brickwork in 1.4 masonry cement or equal approved specification. Cavities below ground level to be filled with lean mix concrete min 225mm below damp proof course. Or provide lean mix backfill at base of cavity wall (150mm below damp course) laid to fall to weepholes.

Timber Frame Wall

To achieve minimum U Value of 0.28W/m²K
 Cedar weatherboarding vertically on 25 x 38mm preservative-treated battens (provide counter battens to ensure vented and drained cavity if required) fixed to breathable membrane (having a vapour resistance of not more than 0.6 MNs/g) and 12mm thick W.B.P external quality plywood sheathing (or other approved). Ply fixed to treated timber frame studs constructed using: 100mm x 50mm head and sole plates and vertical studs (with noggins) at 400mm cts or to s/engineer's details and calculations. Insulation between and over studs: 60mm Celotex GA4000 between plus 37.5mm Celotex PL4000 insulated plasterboard over with VCL, fixed to internal face of insulation. Finish with 3mm skim coat of finishing plaster. All junctions to have water tight construction, seal all perimeter joints with tape internally and with silicon sealant externally.

Partial Fill Cavity Wall

To achieve minimum U Value of 0.28W/m²K
 Provide 103mm suitable facing brick. Ensure a 50mm clear residual cavity and provide 60mm Celotex CVA4000 insulation fixed to 100mm standard block internal leaf. K value 0.15 (Celcon Standard, Thermatite Shield, Toplite Standard.) Internal finish to be 13mm lightweight plaster or plasterboard on dabs. Walls to be built with 1:1.5 cement mortar.

Detail B

50x200 Collar

Essex peg roof files to match existing

Ventilation tray

Detail F

Landing

50x200 floor joists

Provides noggin between 50x200 floor joists

22mm moisture resistant floorboard/chipboard

Contc. lintel

Provide 100mm mineral wool with density of 10Kg/m³ between floor joists held in place with chicken wire mesh

Solid oak open staircase to first

50x200 floor joists

Provide noggin between 50x200 floor joists

Celotex insulation

Block wall

22mm moisture resistant floorboard/chipboard

Cavity closer

Cainic lintel

Timber support

50x200 Timber rafters

Celotex Insulation

Unvented Pitched Roof

Pitch 22-45°
 To achieve U-value 0.18 W/m²K
 Timber roof structures to be designed by an Engineer in accordance with NHBC Technical Requirement RS Structural Design. Calculations to be based on BS EN 1995-1-1. Suitable roofing tiles on 25 x 38mm lanalised sw treated battens on breathable sarking felt to relevant BSA Certificate. Supported on 50 x 200mm grade C24 rafters at max 400mm centres span to engineer's details. Rafters supported on 100 x 50mm treated sw wall plates. Allow min 20mm air space to allow for draps of breathable felt. Insulation to be 165mm Celotex XR4000 fixed between rafters. Fix 12.5mm foil backed plasterboard (joints staggered) and 5mm skim coat of finishing plaster to the underside of all ceilings using galvanized plasterboard nails. Restraint strapping - Ceiling joists tied to rafters (if raised collar roof consult structural engineer). 100mm x 50mm wall plate strapped down to walls. Ceiling joists and rafters to be strapped to walls and gable walls, straps built into cavity, across at least 3 timbers with noggins. All straps to be 1000 x 30 x 5mm galvanized straps or other approved to BSEN 845-1 at 2m centres.

Detail A

Ventilation tray

Detail D

Detail E

Brickwork to match existing

Air brick

Dpc

Detail E

1100

600

440

440

600

1100

Proposed Section A-A

Scale: 1:50

1:50

0

1

2

5

Dpc

Provide horizontal strip polymer (hyload) damp proof course to both internal and external skins minimum 150mm above external ground level. New DPC to be made continuous with existing DPC's and with floor DPM. Vertical DPC to be installed at all reveals where cavity is closed.

Wall Ties

All walls constructed with stainless steel vertical twist type retaining wall ties built in at 750mm cts horizontally, 450mm vertically and 225mm cts at reveals and corners in staggered rows. Wall ties to be suitable for cavity width and in accordance with BS 5268-6.1:1996 and BS EN 845-1: 2003.

Cavities

Provide cavity trays over openings. All cavities to be closed at eaves and around openings using Thermabate or similar non combustible insulated cavity closers. Provide vertical DPCs around openings and abutments. All cavity trays must have 150mm upstands and suitable cavity weep holes (min 2) at max 900mm centres.

Roof Lights

Min U-value of 1.6 W/m²K.

Roof-lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufacturer's instructions with rafters doubled up to sides and suitable flashings etc.

Windows

Windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m²K.

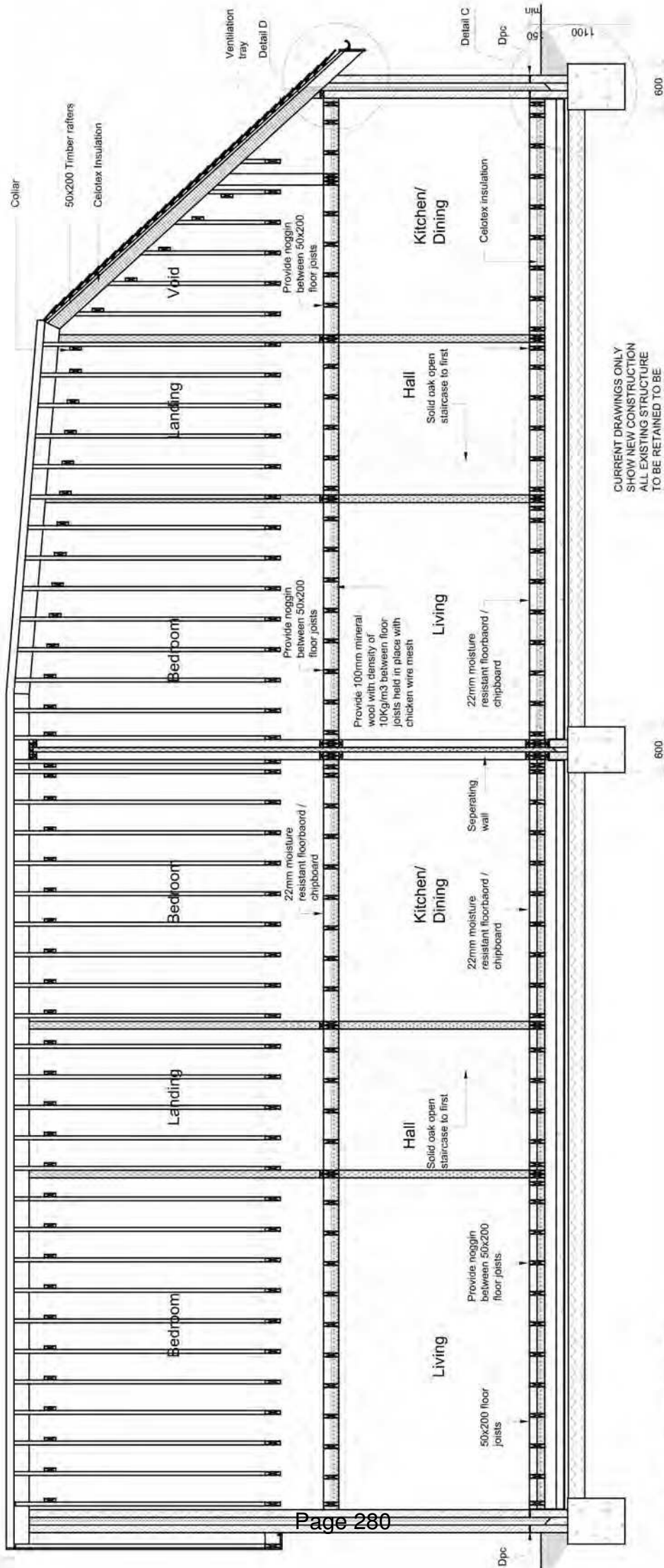
Doors

Doors to achieve a U-value of 1.60W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206; BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

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	Project:	Lesser Barn Hubbaros Farm West Drayton UB8	Title:	Proposed Section A-A	Scale:	1:50 @ A3
					Date:	05/2013
					Drawing No.:	2688 - 06/MP
					Revision:	R1

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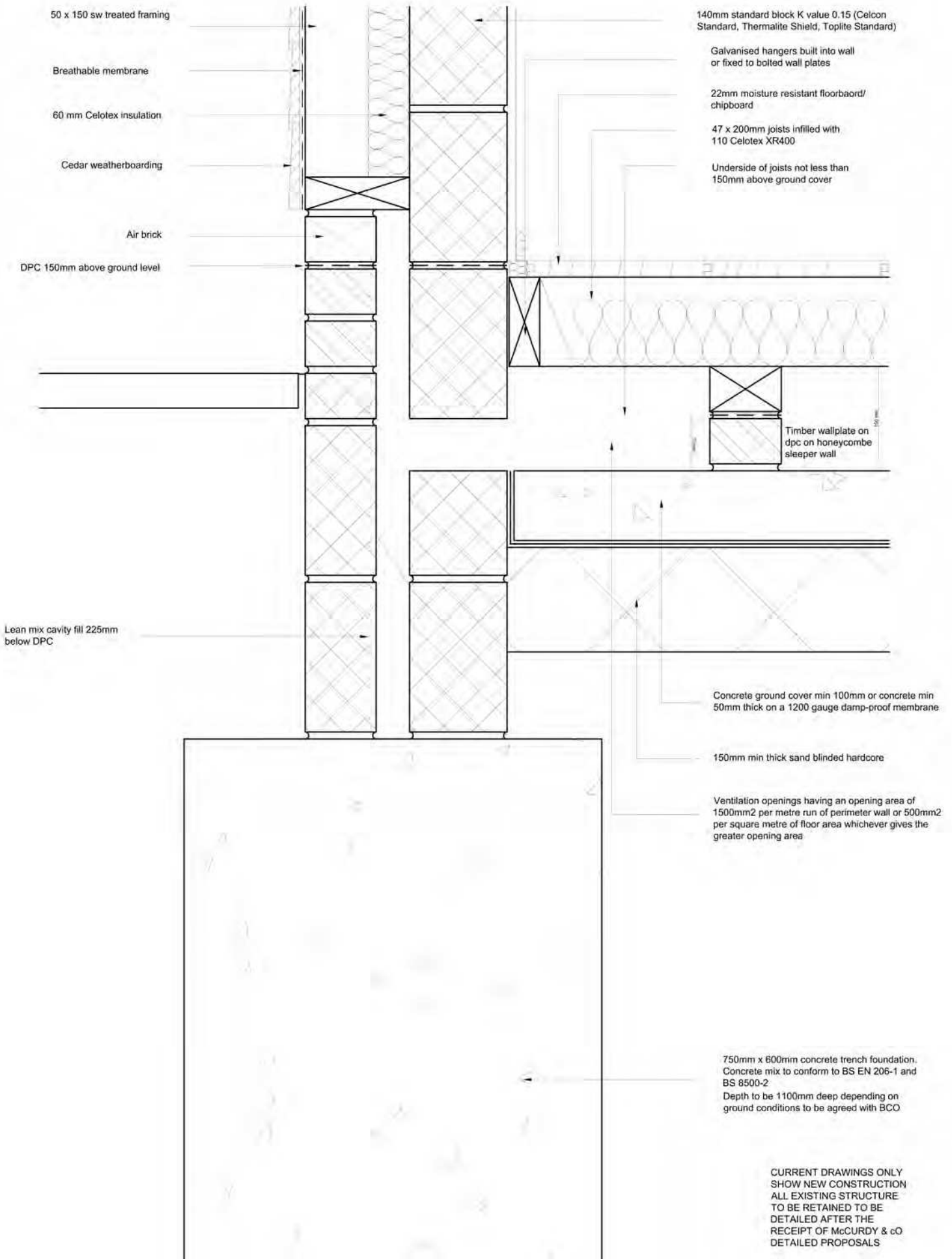


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	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Proposed Section B-B	Scale: 1:50 @ A3 Date: 05 2013 Drawing No.: 2688 - 05/MP Revision: R1
	239 Western Road, Southall, Middx. UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		

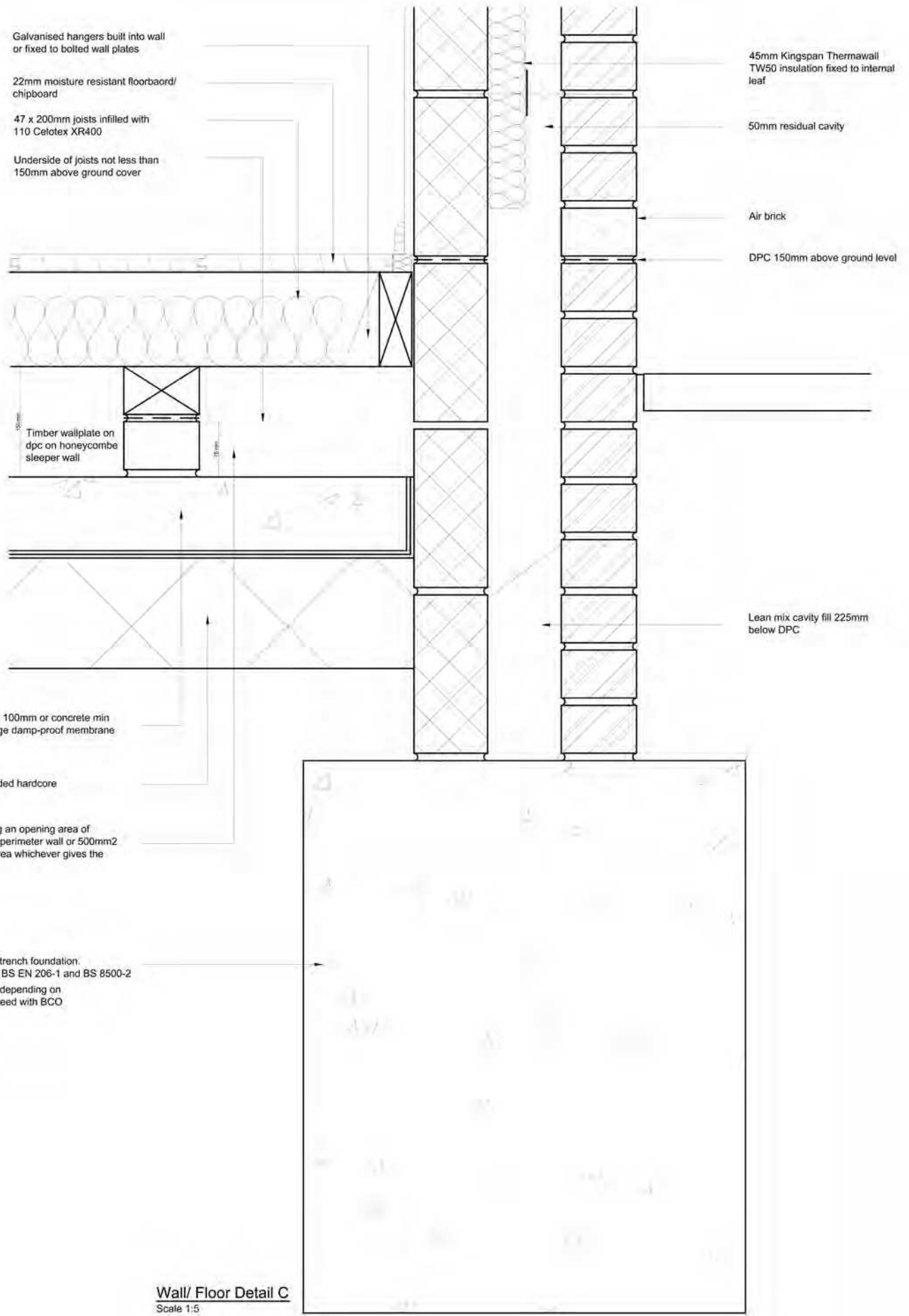
Proposed Section B-B
 Scale 1:50





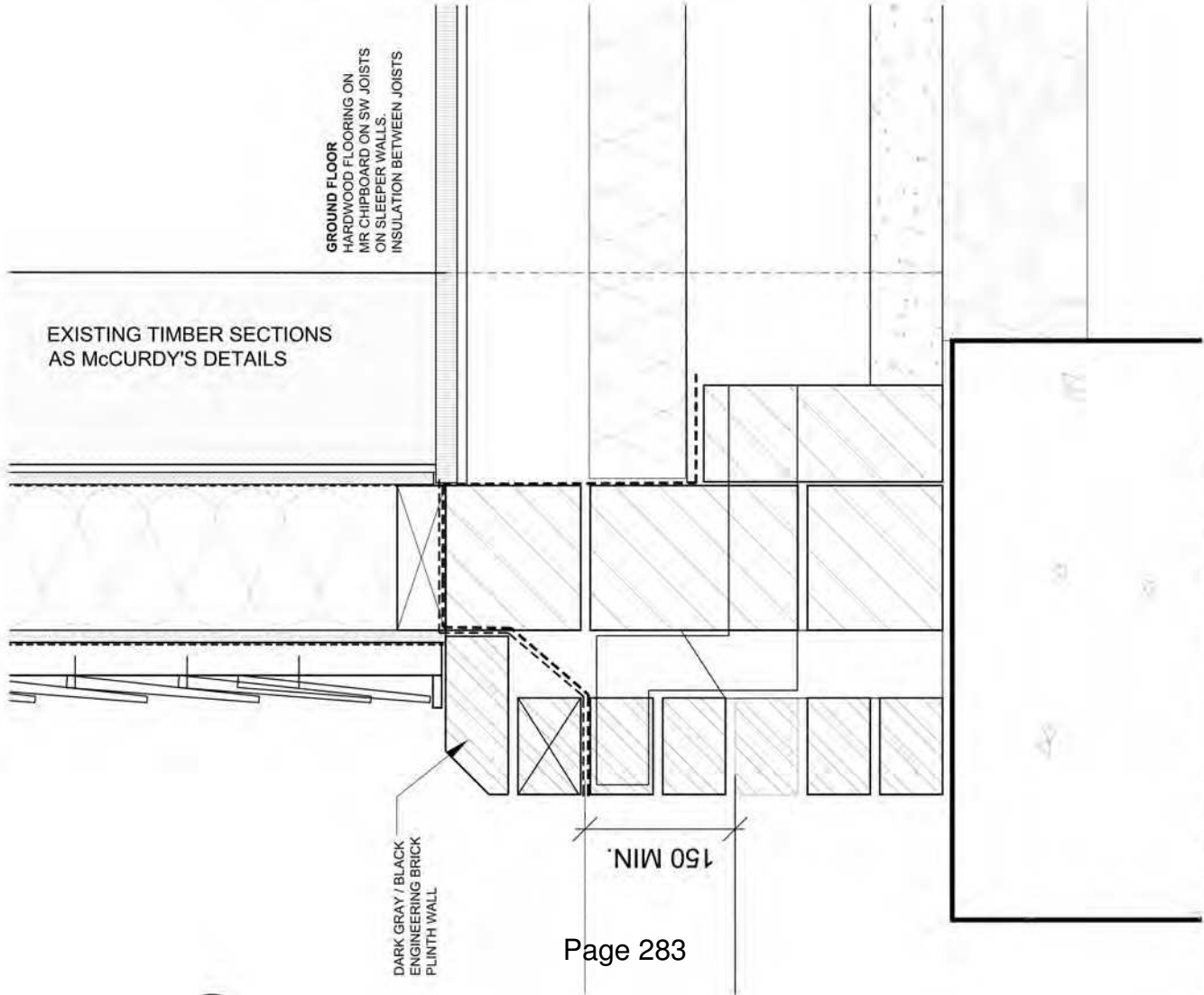
Wall/ Floor Detail E
Scale 1:5

	Project:	Title:	Scale: 1:5 @ A3
	Lesser Barn Hubbarbs Farm West Drayton UB8	Foundation Detail	Date: 04 2013
			Drawing No.: 2688 - 12/MP
			Revision
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			

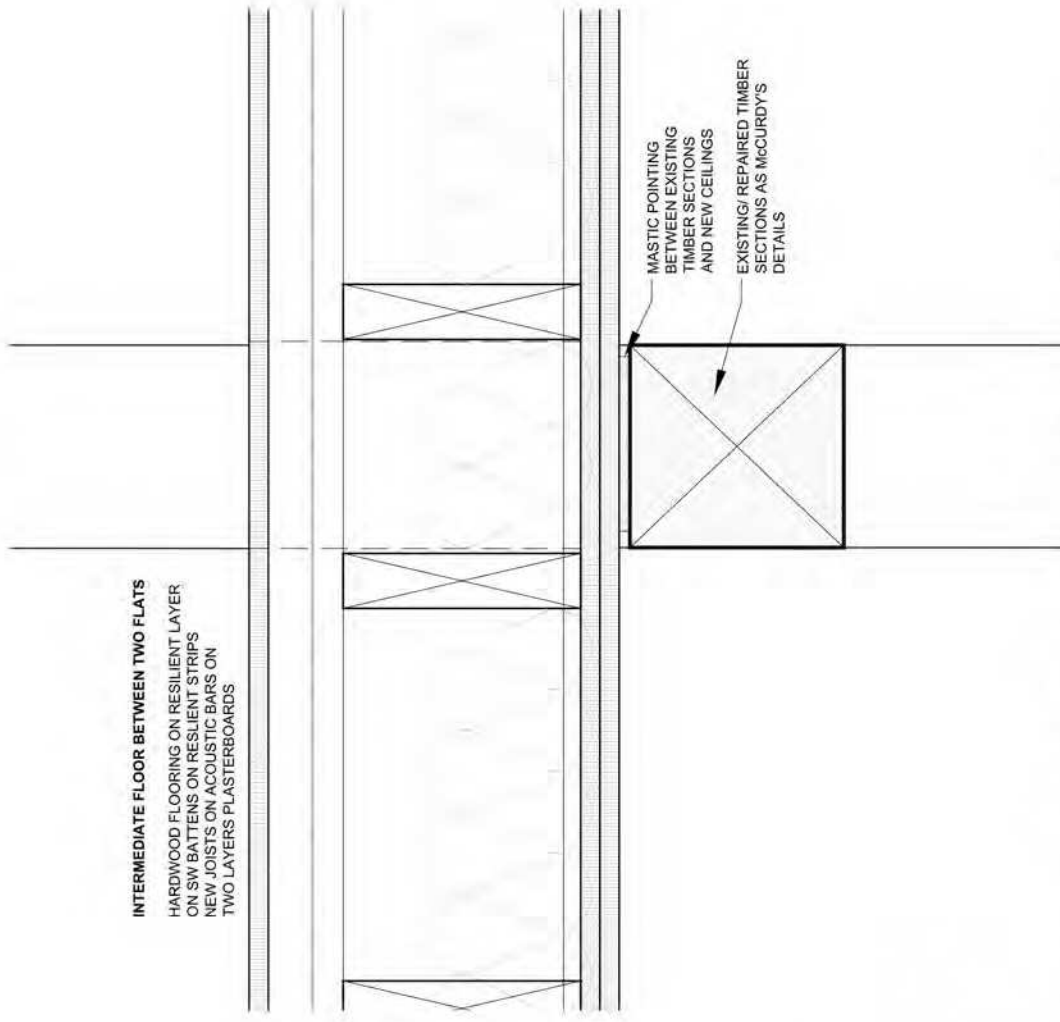


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	Lesser Barn Hubbarbs Farm West Drayton UB8	Foundation Detail	Date: 04 2013
			Drawing No.: 2688 - 10/MP
			Revision
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			

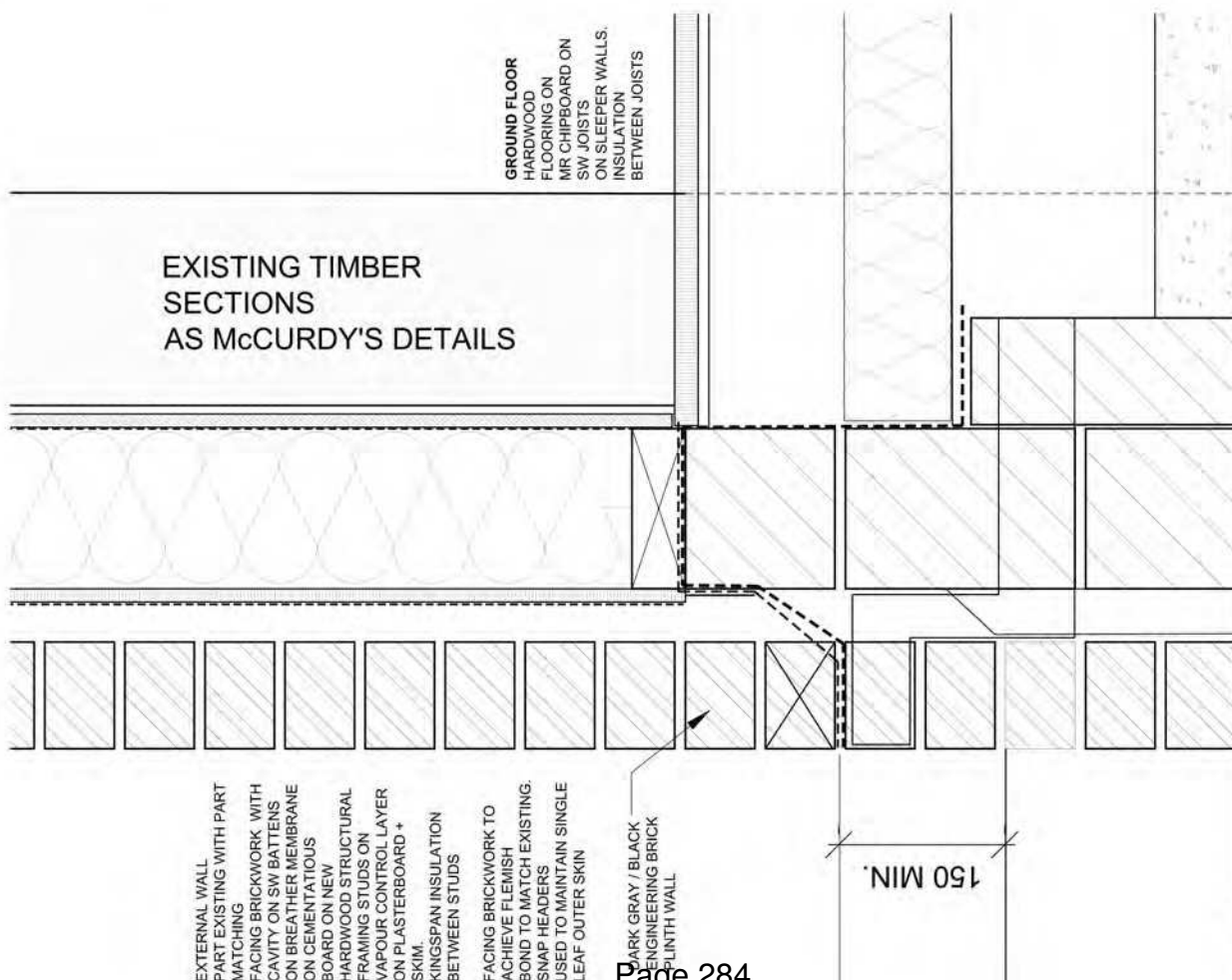
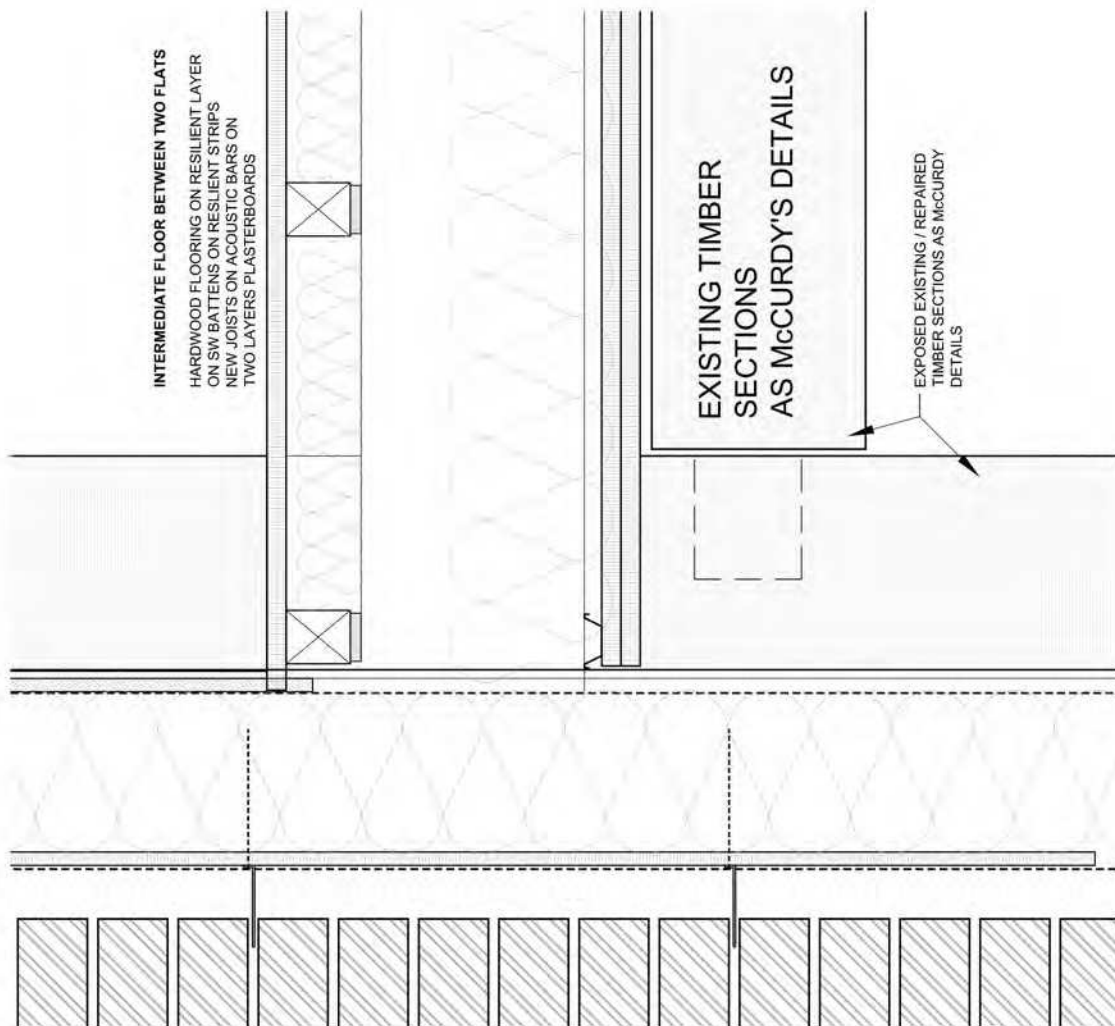


1. Foundation Detail - Timber clad Wall

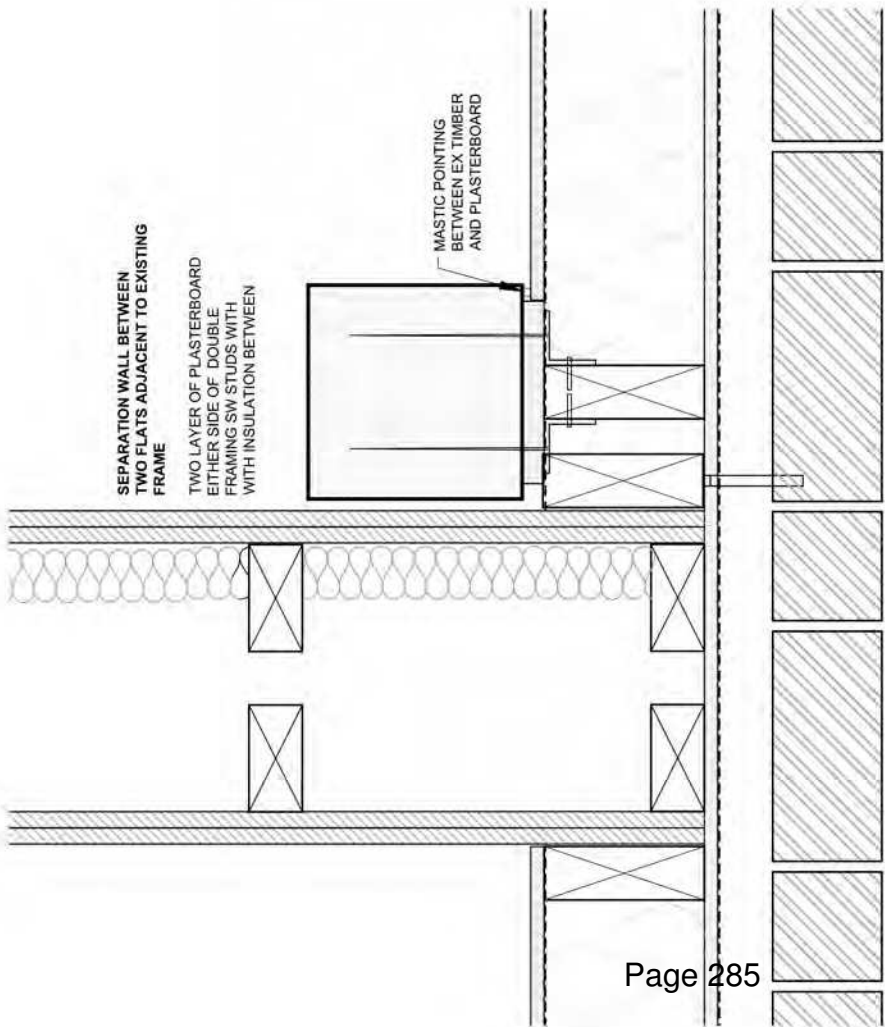


2. Intermediate Floor / Internal Beam Junction

	Project: Lesser Barn Huubarbs Farm West Drayton UB8	Title: Foundation Detail Intermediate Floor Detail	Scale: 1:5 @ A3
			Date: 05 2013 Drawing No.: 2688 - 19 Revision
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	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Foundation Detail Intermediate Floor Facing Brick Wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 24 Revision
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008		



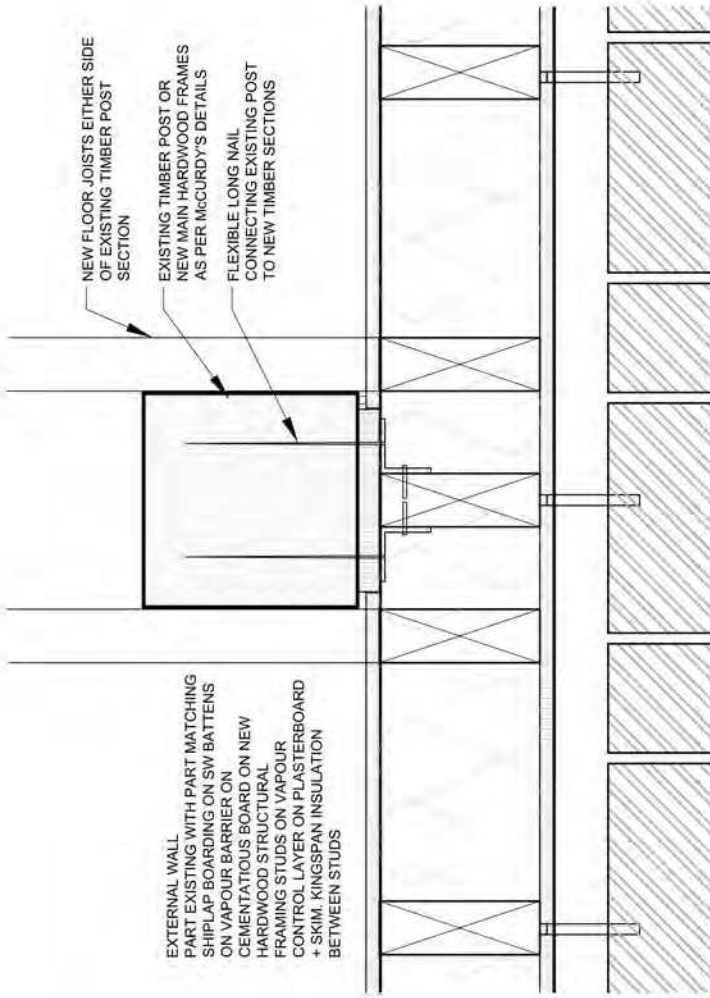
SEPARATION WALL BETWEEN
TWO FLATS ADJACENT TO EXISTING
FRAME

TWO LAYER OF PLASTERBOARD
EITHER SIDE OF DOUBLE
FRAMING SW STUDS WITH
INSULATION BETWEEN

MASTIC POINTING
BETWEEN EX TIMBER
AND PLASTERBOARD

EXTERNAL WALL
PART MATCHING WITH CAVITY ON SW
FACING BRICKWORK WITH BATTENS ON
BREATHER MEMBRANE ON
CEMENTATIIOUS BOARD ON NEW HARDWOOD
STRUCTURAL FRAMING STUDS ON VAPOUR
CONTROL LAYER ON PLASTERBOARD + SKIM.
KINGSPAN INSULATION BETWEEN STUDS

FACING BRICKWORK TO ACHIEVE FLEMISH
BOND TO MATCH EXISTING - SNAP HEADERS
USED TO MAINTAIN SINGLE LEAF OUTER SKIN

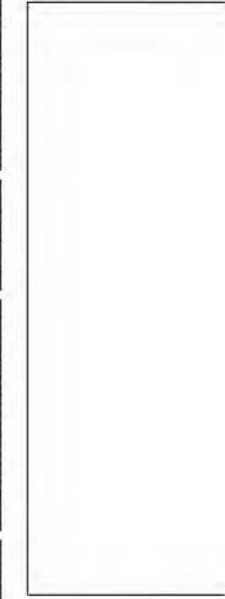


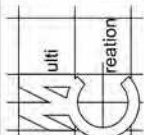
NEW FLOOR JOISTS EITHER SIDE
OF EXISTING TIMBER POST
SECTION

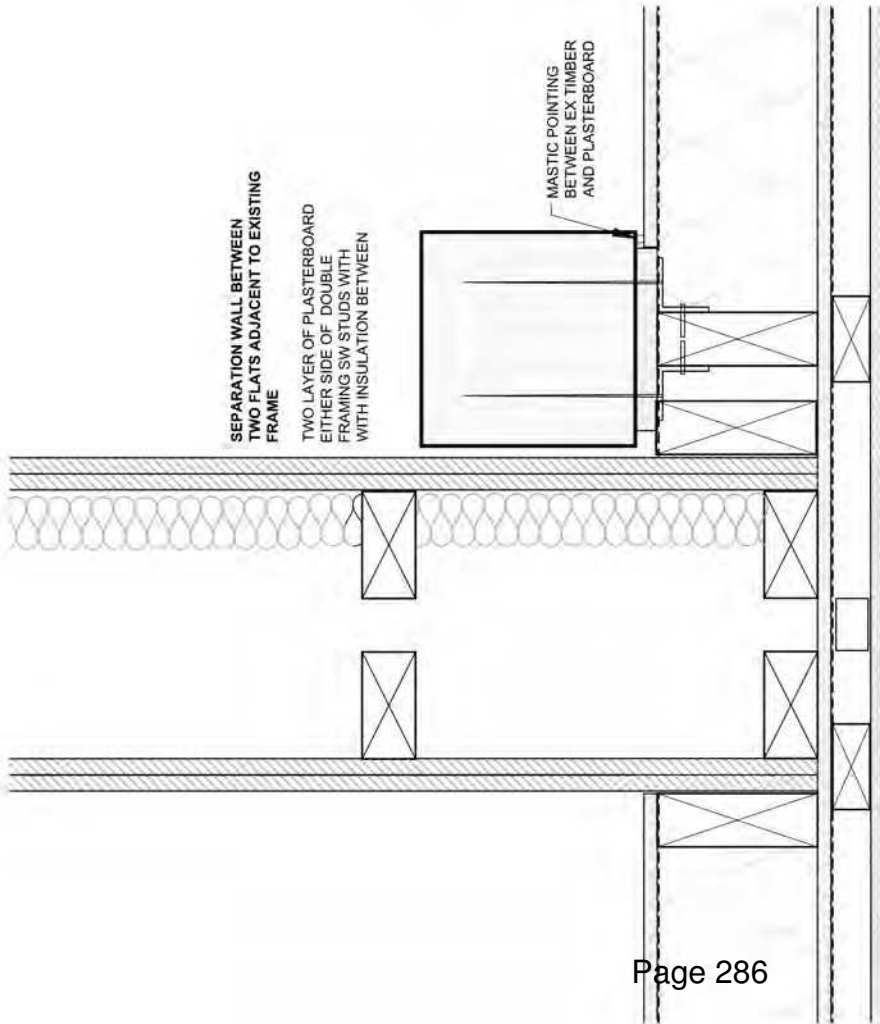
EXISTING TIMBER POST OR
NEW MAIN HARDWOOD FRAMES
AS PER MCCURDY'S DETAILS

FLEXIBLE LONG NAIL
CONNECTING EXISTING POST
TO NEW TIMBER SECTIONS

EXTERNAL WALL
PART EXISTING WITH PART MATCHING
SHIPLAP BOARDING ON SW BATTENS
ON VAPOUR BARRIER ON NEW
CEMENTATIIOUS BOARD ON NEW
HARDWOOD STRUCTURAL
FRAMING STUDS ON VAPOUR
CONTROL LAYER ON PLASTERBOARD
+ SKIM. KINGSPAN INSULATION
BETWEEN STUDS

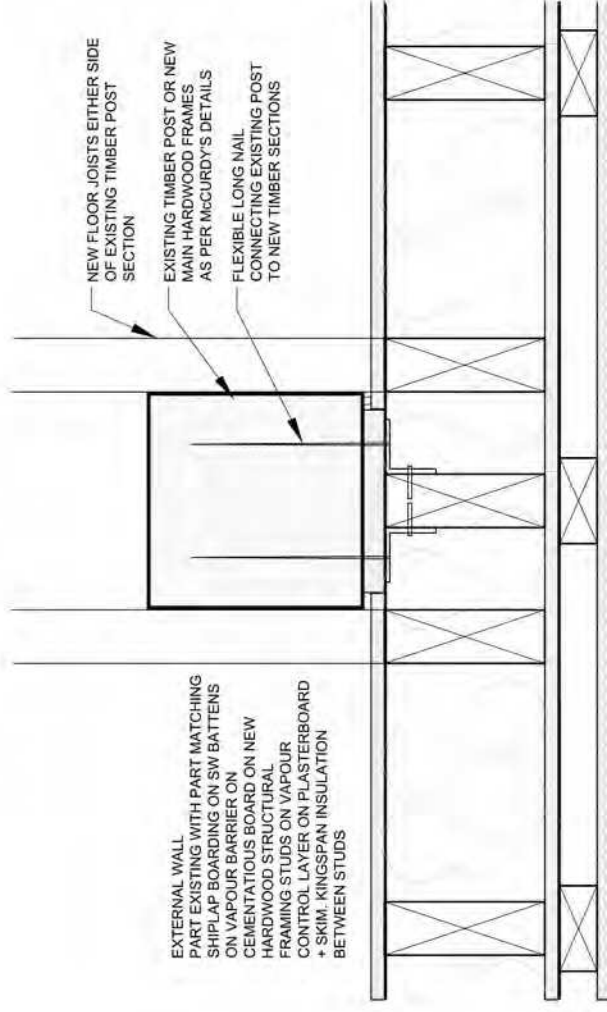


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	Revision <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>					
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EXTERNAL WALL
 PART EXISTING WITH PART MATCHING
 SHIPLAP BOARDING ON SW BATTENS ON
 VAPOUR BARRIER ON CEMENTATIIOUS
 BOARD ON NEW HARDWOOD STRUCTURAL
 FRAMING STUDS ON VAPOUR CONTROL LAYER
 ON PLASTERBOARD + SKIM.
 KINGSPAN INSULATION BETWEEN STUDS

1. Party Wall / Existing Timber Post Junction
 Timber Clad Wall

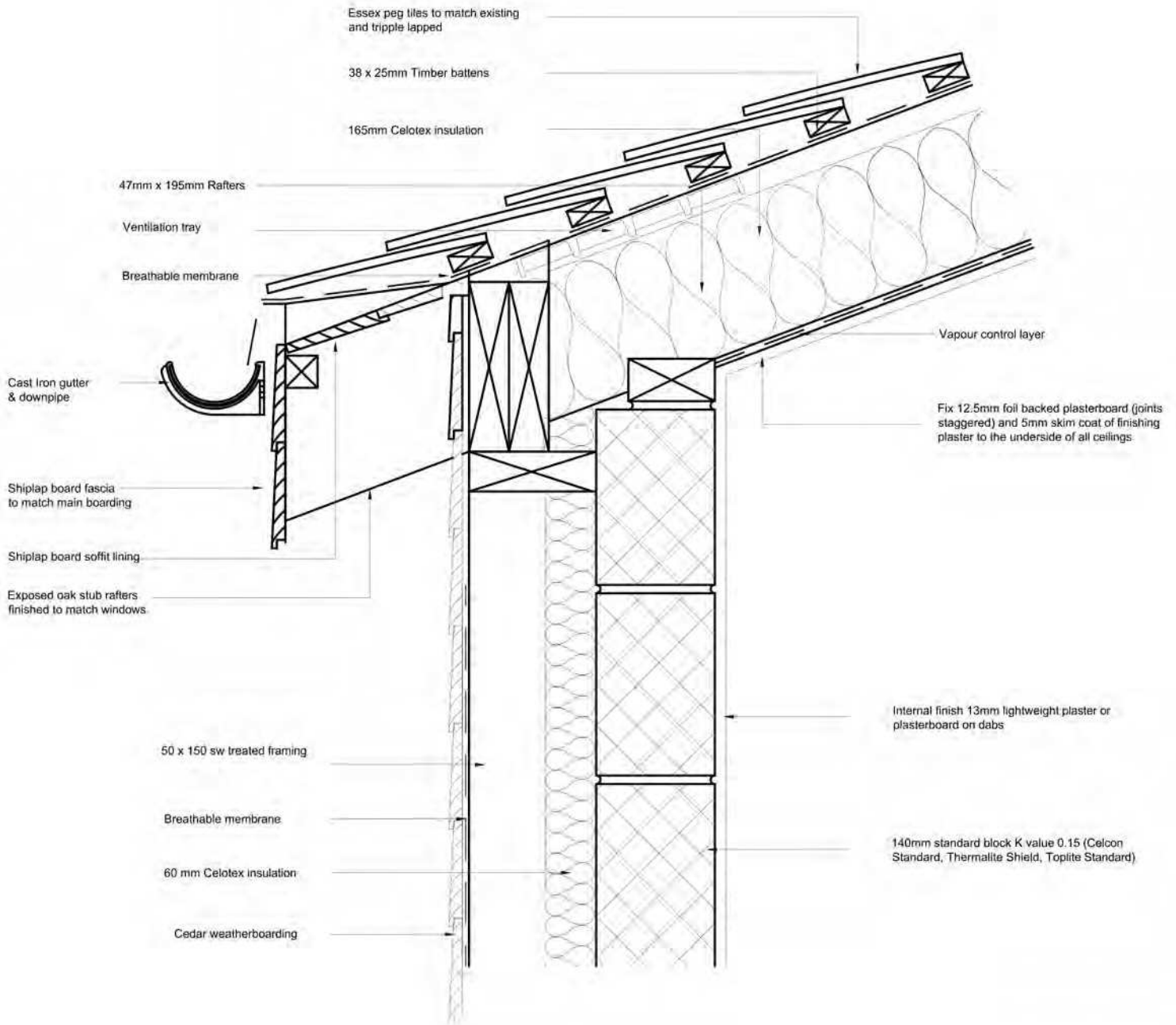


EXTERNAL WALL
 PART EXISTING WITH PART MATCHING
 SHIPLAP BOARDING ON SW BATTENS
 ON VAPOUR BARRIER ON
 CEMENTATIIOUS BOARD ON NEW
 HARDWOOD STRUCTURAL
 FRAMING STUDS ON VAPOUR
 CONTROL LAYER ON PLASTERBOARD
 + SKIM; KINGSPAN INSULATION
 BETWEEN STUDS

NEW FLOOR JOISTS EITHER SIDE
 OF EXISTING TIMBER POST
 SECTION
 EXISTING TIMBER POST OR NEW
 MAIN HARDWOOD FRAMES
 AS PER MCCURDY'S DETAILS
 FLEXIBLE LONG NAIL
 CONNECTING EXISTING POST
 TO NEW TIMBER SECTIONS

2. Typical External Wall / Existing Post Junction
 Timber Clad Wall

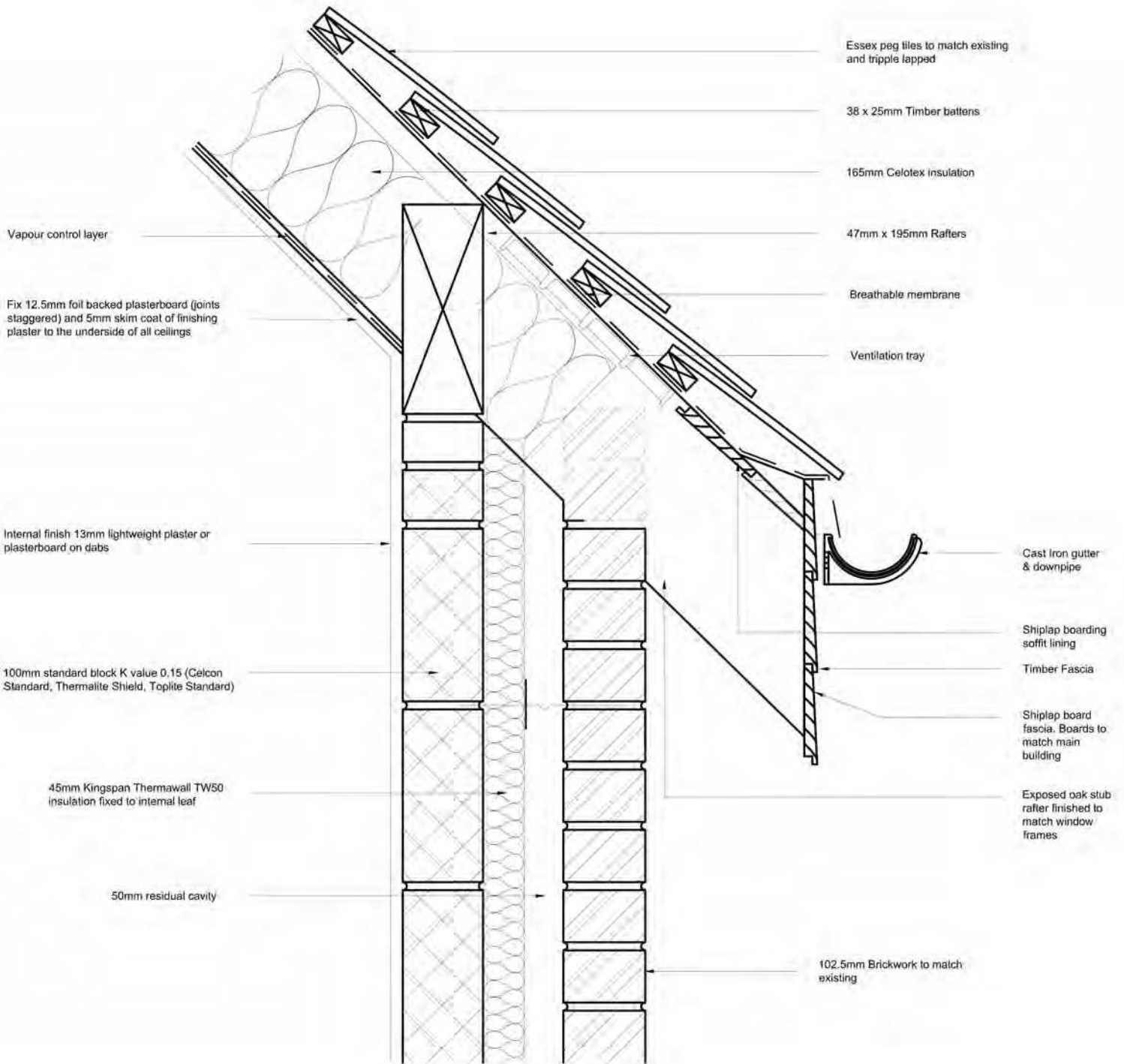
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Revision										
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Eaves Detail C
Scale 1:5

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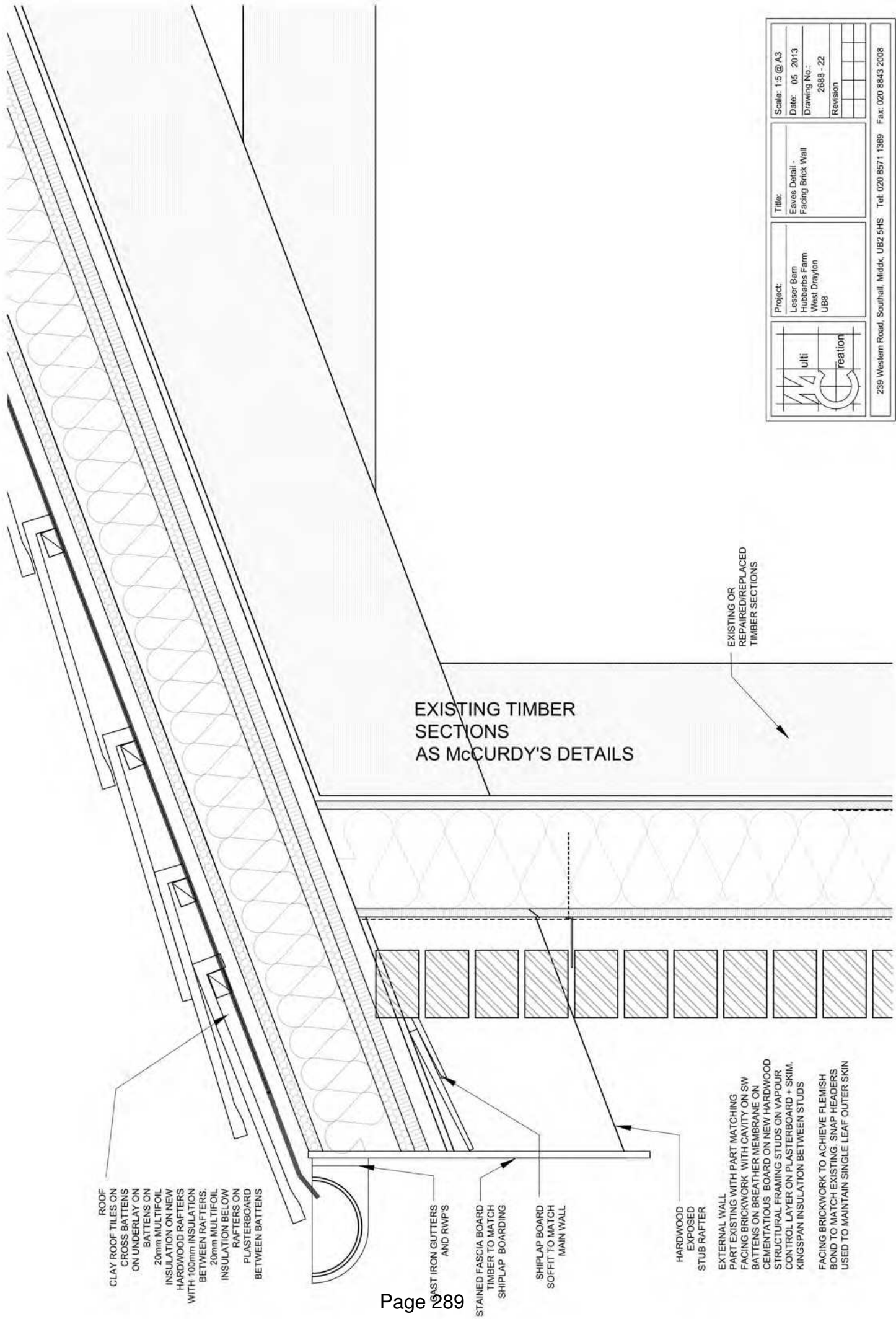
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	Lesser Barn Hubbarbs Farm West Drayton UB8	Eaves Detail	Date: 04 2013
			Drawing No.: 2688 - 13/MP
			Revision R1
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Eaves Detail D
Scale 1:5

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DETAILED PROPOSALS

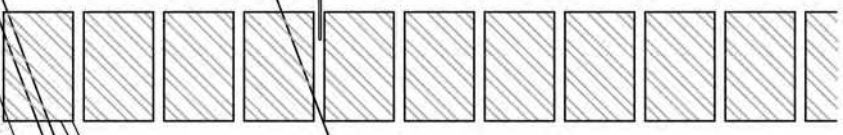
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	Lesser Barn Hubbarbs Farm West Drayton UB8	Eaves Detail	Date: 04 2013
			Drawing No.: 2688 - 11/MP
			Revision R1
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



ROOF
CLAY ROOF TILES ON
CROSS BATTENS
ON UNDERLAY ON
BATTENS ON
20mm MULTIFOIL
INSULATION ON NEW
HARDWOOD RAFTERS
WITH 100mm INSULATION
BETWEEN RAFTERS.
20mm MULTIFOIL
INSULATION BELOW
RAFTERS ON
PLASTERBOARD
BETWEEN BATTENS

EXISTING TIMBER
SECTIONS
AS McCURDY'S DETAILS

EXISTING OR
REPAIRED/REPLACED
TIMBER SECTIONS



CAST IRON GUTTERS
AND RWPS

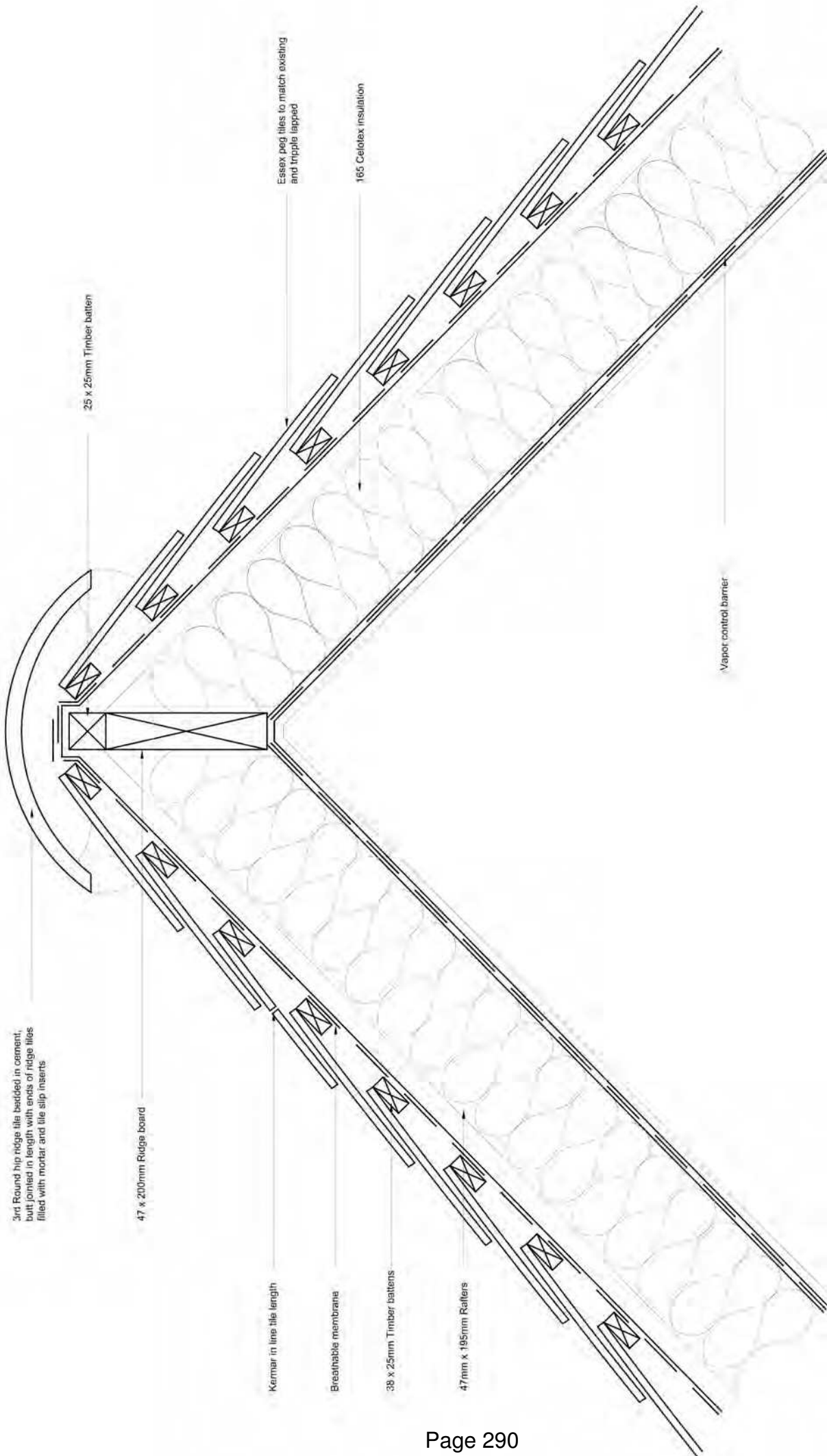
STAINED FASCIA BOARD
TIMBER TO MATCH
SHIPLAP BOARDING

SHIPLAP BOARD
SOFFIT TO MATCH
MAIN WALL

HARDWOOD
EXPOSED
STUB RAFTER

EXTERNAL WALL
PART EXISTING WITH PART MATCHING
FACING BRICKWORK WITH CAVITY ON SW
BATTENS ON BREATHER MEMBRANE ON
CEMENTIOUS BOARD ON NEW HARDWOOD
STRUCTURAL FRAMING STUDS ON VAPOUR
CONTROL LAYER ON PLASTERBOARD + SKIM.
KINGSPAN INSULATION BETWEEN STUDS
FACING BRICKWORK TO ACHIEVE FLEMISH
BOND TO MATCH EXISTING. SNAP HEADERS
USED TO MAINTAIN SINGLE LEAF OUTER SKIN

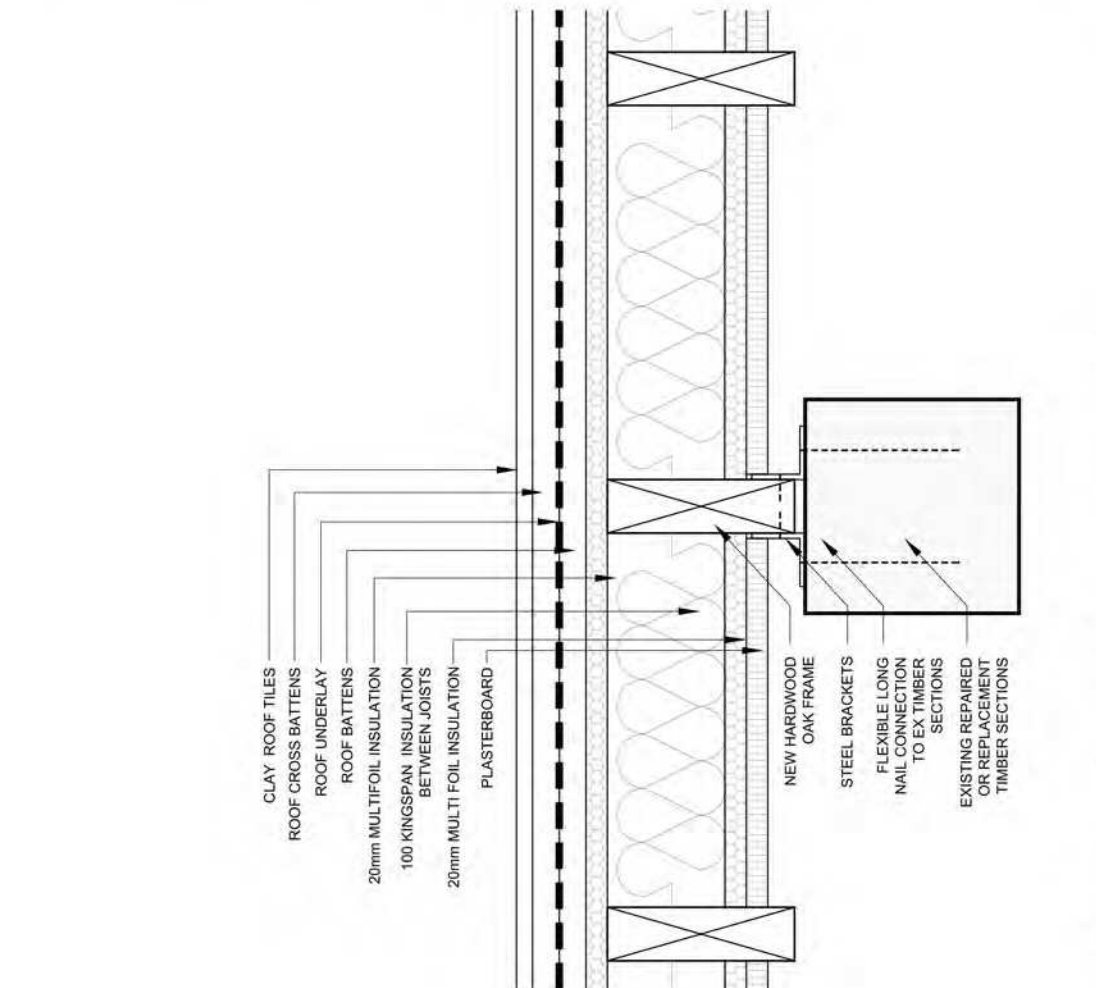
	Project: Lesser Barn Hubbarbs Farm West Drayton UB8	Title: Eaves Detail - Facing Brick Wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 22
	239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008	Revision	Revision



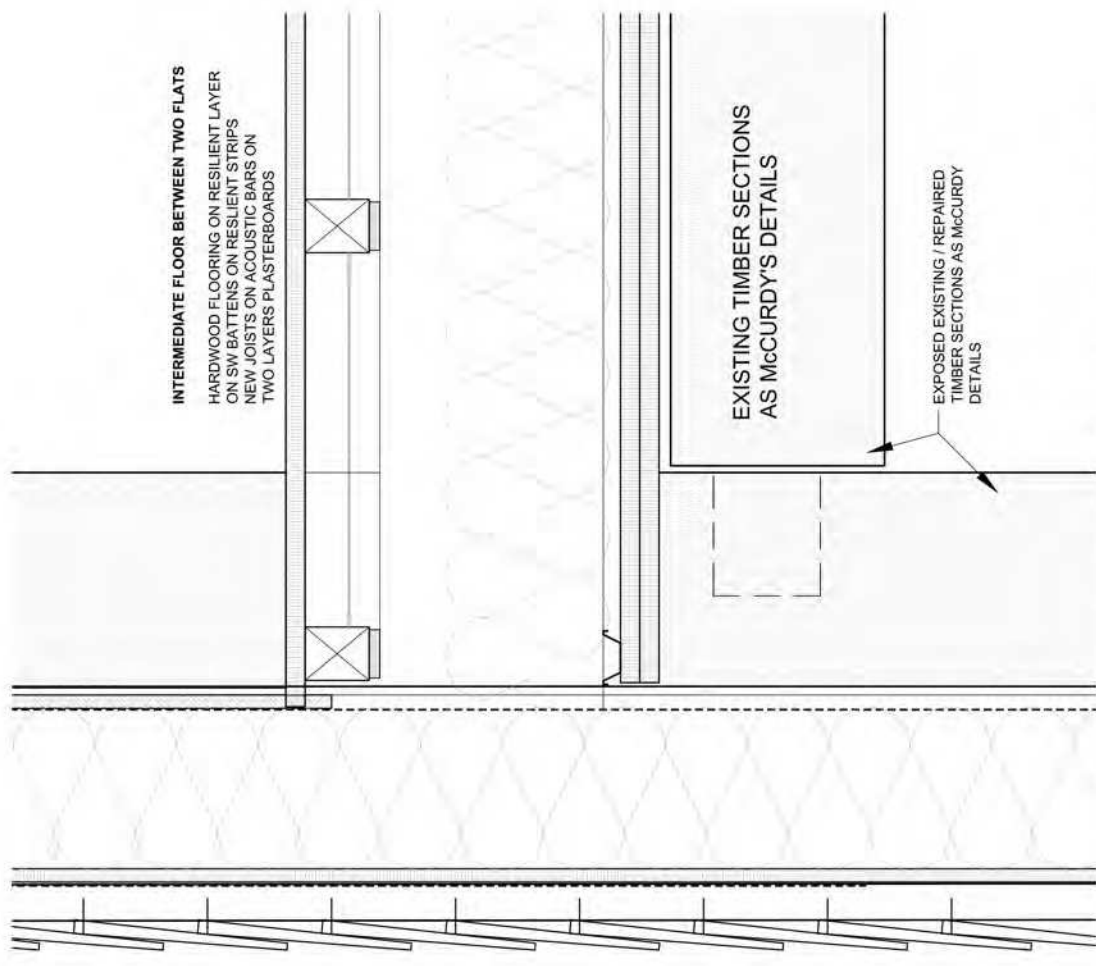
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Ridge Detail B
 Scale 1:5

	Project:	Lesser Barn Hubbarbs Farm West Drayton UB8	Title:	Ridge Detail	Scale:	1:5 @ A3
					Date:	04 2013
					Drawing No.:	2888 - 09/MP
					Revision	

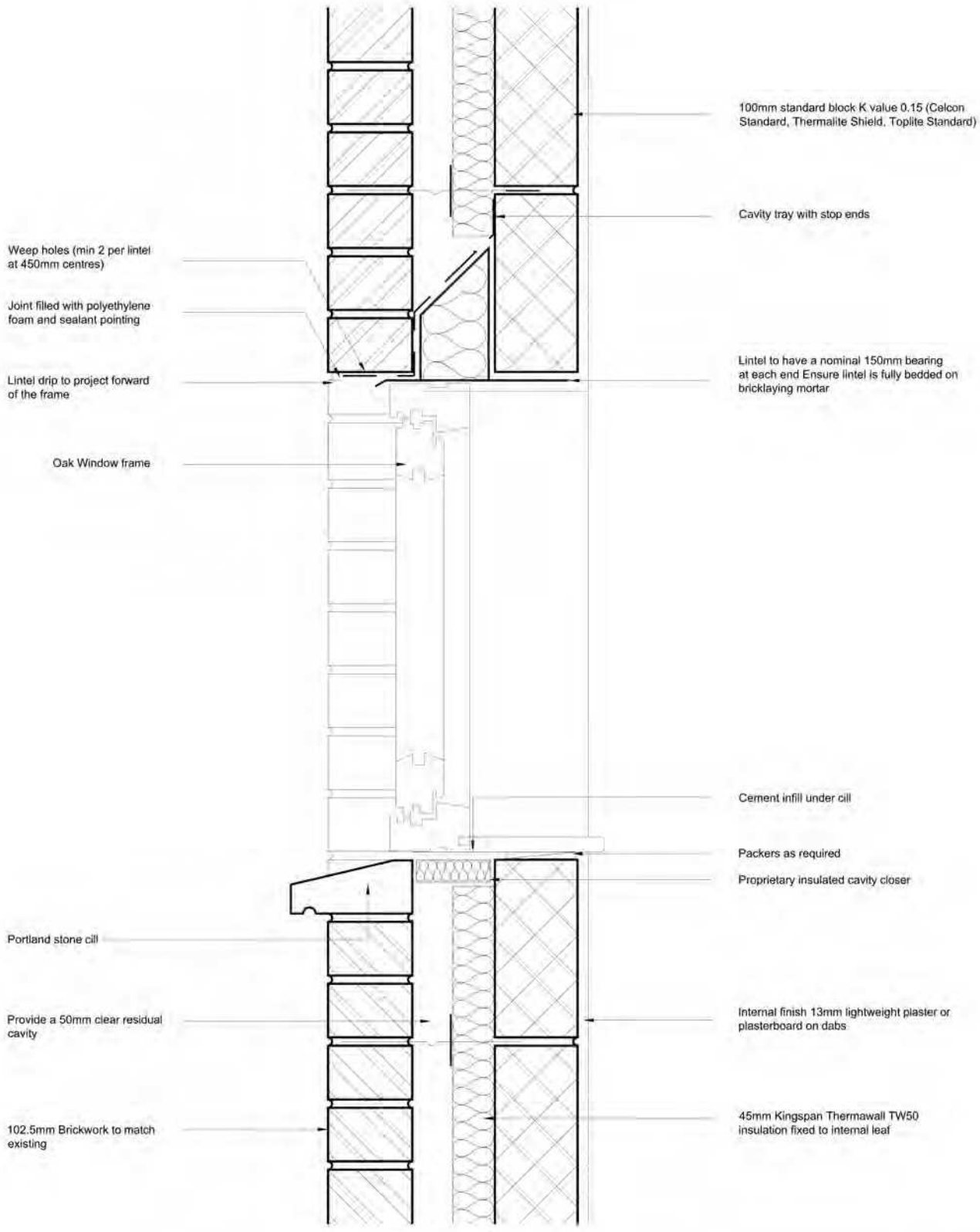


1. Section Through Roof Build Up



2. External Wall / intermediate Floor Junction

	Project: Lesser Barn Hubbards Farm West Drayton UB8	Title: Roof Detail Floor / Wall Junction - Shiplap clad wall	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 18 Revision											
	<table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>													
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008														

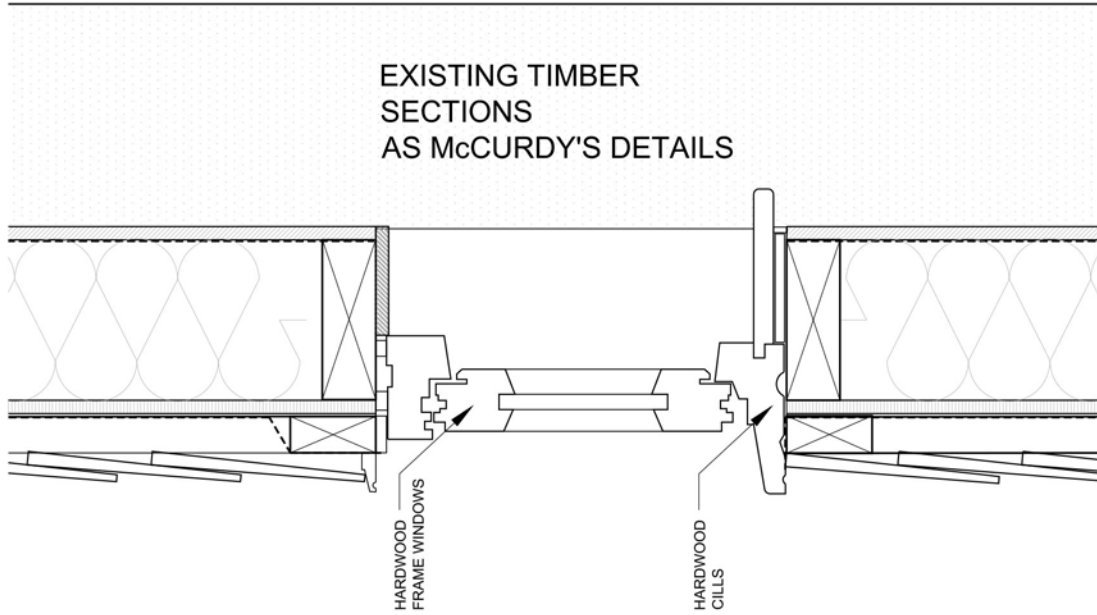


Window Detail A

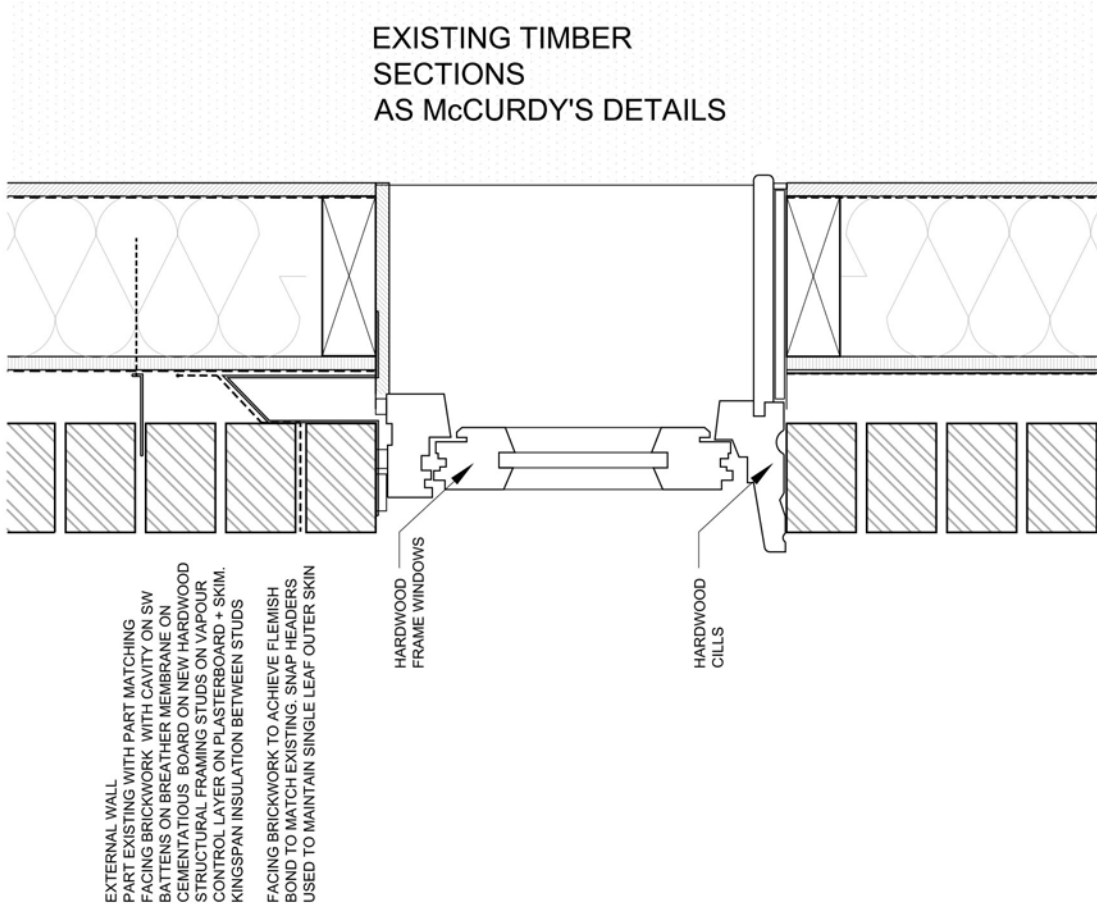
Scale 1:5

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DETAILED PROPOSALS

	Project:	Title:	Scale: 1:5 @ A3
	Lesser Barn Hubbarbs Farm West Drayton UB8	Window Detail	Date: 04 2013
			Drawing No.: 2688 - 08/MP
			Revision
			R1
239 Western Road, Southall, Middx, UB2 5HS Tel: 020 8571 1369 Fax: 020 8843 2008			



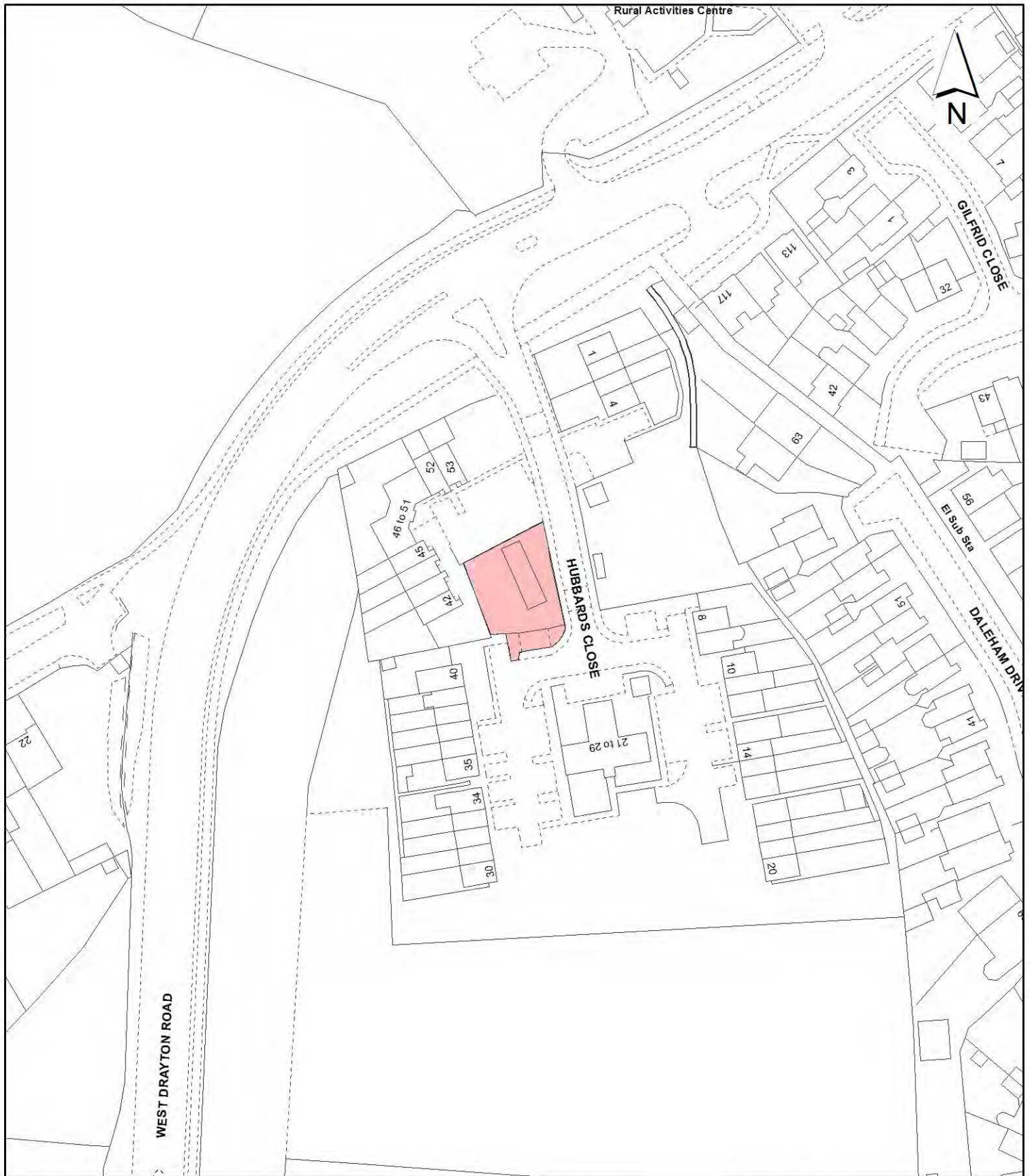
1. Window Head & Cill Detail
Timber Clad Wall



EXTERNAL WALL
PART EXISTING WITH PART MATCHING
FACING BRICKWORK - WITH CAVITY ON SW
BATTENS ON BREATHER MEMBRANE ON
CEMENTIOUS BOARD ON NEW HARDWOOD
STRUCTURAL FRAMING STUDS ON VAPOUR
CONTROL LAYER ON PLASTERBOARD + SKIM.
KINGSPAN INSULATION BETWEEN STUDS
FACING BRICKWORK TO ACHIEVE FLEMISH
BOND TO MATCH EXISTING. SNAP HEADERS
USED TO MAINTAIN SINGLE LEAF OUTER SKIN

2. Window Head & Cill Detail
Facing Brick Wall

	Project: Lesser Barn Huubarbs Farm West Drayton UB8	Title: Window Head & Cill Wall Details	Scale: 1:5 @ A3 Date: 05 2013 Drawing No.: 2688 - 21							
	Revision <table border="1"> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>									
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Notes:

 Site boundary

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Site Address:

**Lesser Barn
 Hubbards Close**

**LONDON BOROUGH
 OF HILLINGDON**
 Residents Services
 Planning Section
 Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111

Planning Application Ref:
5971/APP/2016/3922

Scale:
1:1,250

Planning Committee:
Central & South

Date:
March 2017

